# **Integrated Medical Office Building and Specialist Disability Accommodation**

#### **Development Numbers**

Street Address: Property Description:	60, 62 and 64 Showground Road, Gosford Lots 1-4 on SP 20095 and Lots 1-6 on SP 20058
Site Area:	2437sqm
Proposal Description:	Mixed use development consisting of an integrated health hub facility and disability accommodation. Retail and medical land uses such as GP clinic, pharmacy, radiology, pathology on the ground level; with 4 levels of medical

suites above. Level 5 will provide seven specialist disability accommodation units

#### **Carparking Numbers**

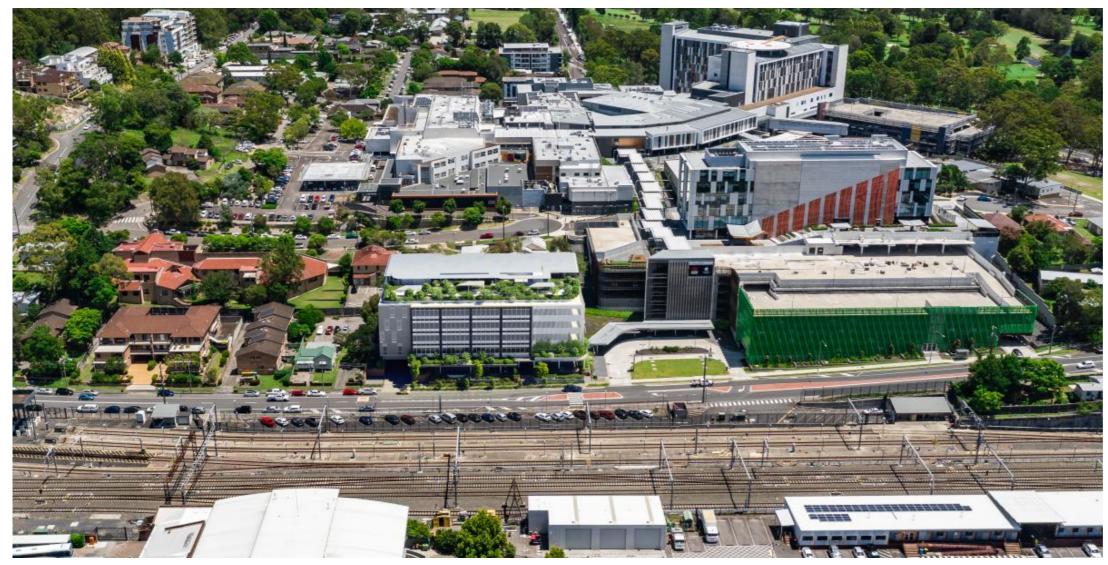
Basement 1 45 Car spaces 2 Accessible Car spaces 1 SDA Drop off space 2 Van spaces 1 Motorcycle Bay

Basement 2 68 Car spaces 2 Accessible Car spaces 1 Motorcycle Bay

Basement 3 68 Car spaces 2 Accessible Car spaces 1 Motorcycle Bay

Basement 4 35 Car spaces

Total Carparking Numbers 216 Car spaces 6 Accessible Car spaces 3 Motorcycle Bays 1 SDA Drop off space 2 Van spaces





Indated Drawing Se

27/01/2022 4/03/2022

Project Integrated Medical Office Building and Specialist Disability Accommodation 60, 62 & 64 Showground Road Gosford NSW	Architect GA	Stage Concept
Client	Drawn	Status
CHP	DS	DA (NOT I

tage oncept	<b>Project No.</b> 1174-03
tatus A (NOT FOR CONSTRUCTION)	Scale at A3
before commencing any work or making shop drawings.	1

### **Drawing List**

Drawing No.	Drawing Name
00.01	Context & Locality Plans
01.01	Site Plan
01.02	Existing Survey
03.01	Floor Plan - Basement 4
03.02	Floor Plan - Basement 3
03.03	Floor Plan - Basement 2
03.04	Floor Plan - Basement 1
03.05	Floor Plan - Ground Floor
03.06	Floor Plan - First Floor
03.07	Floor Plan - Second Floor
03.08	Floor Plan - Third Floor
03.09	Floor Plan - Fourth Floor
03.10	Floor Plan - Fifth Floor
04.01	Roof Plan
09.01	Elevations - North
09.02	Elevations - East
09.03	Elevations - South
09.04	Elevations - West
10.01	Section A
10.02	Section B
10.03	Section C
22.01	North-Eastern Perspective
22.02	Showground Rd Perspective



Context & Locality Plans

A-DA-00.01





e	ev∧	tion

ision	
A	Updated Site Plan
В	Updated Drawing Set
С	DA Drawings

23/09/2021
27/01/2022
4/03/2022

Project	Archi
Integrated Medical Office Building and Specialist Disability Accommodation	GA
60, 62 & 64 Showground Road Gosford NSW	
Client	Draw
CHP	DS

Stage	Project
Concept	1174-03
Status	Scale
DA (NOT FOR CONSTRUCTION)	at A3
an alla hafam any management av vinav ven andreas menter availant alla av	

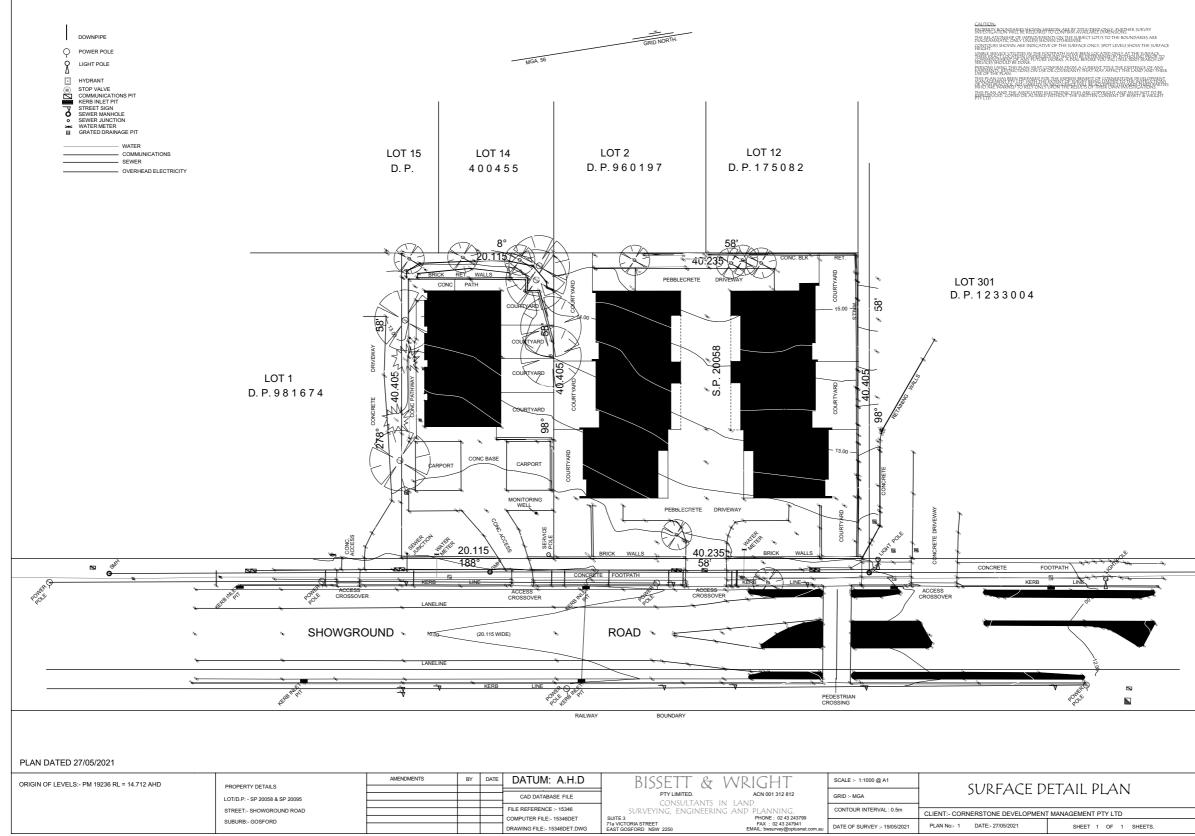






P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pln







27/01/2022 4/03/2022

Project Integrated Medical Office Building and Specialist Disability Accommodation 60, 62 & 64 Showground Road Gosford NSW	Architect GA	Stage Concept	Project No. 1174-03
Client	Drawn	Status	Scale
CHP	DS	DA (NOT FOR CONSTRUCTION)	at A3











	Revision			Project	Architect	Stage	Project No.
tion	В	Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
	C	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	D	Updated Drawing Set	14/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	E	Updated Drawing Set	18/01/2022		-		
	F	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
onarchitecture.com.au	E	levation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this docume	ant is and shall remain the property of Elevation Architectur	e. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	r scale dimensions. Contractors must verify all dimensions	s on site before commencing any work or making shop drawings.	

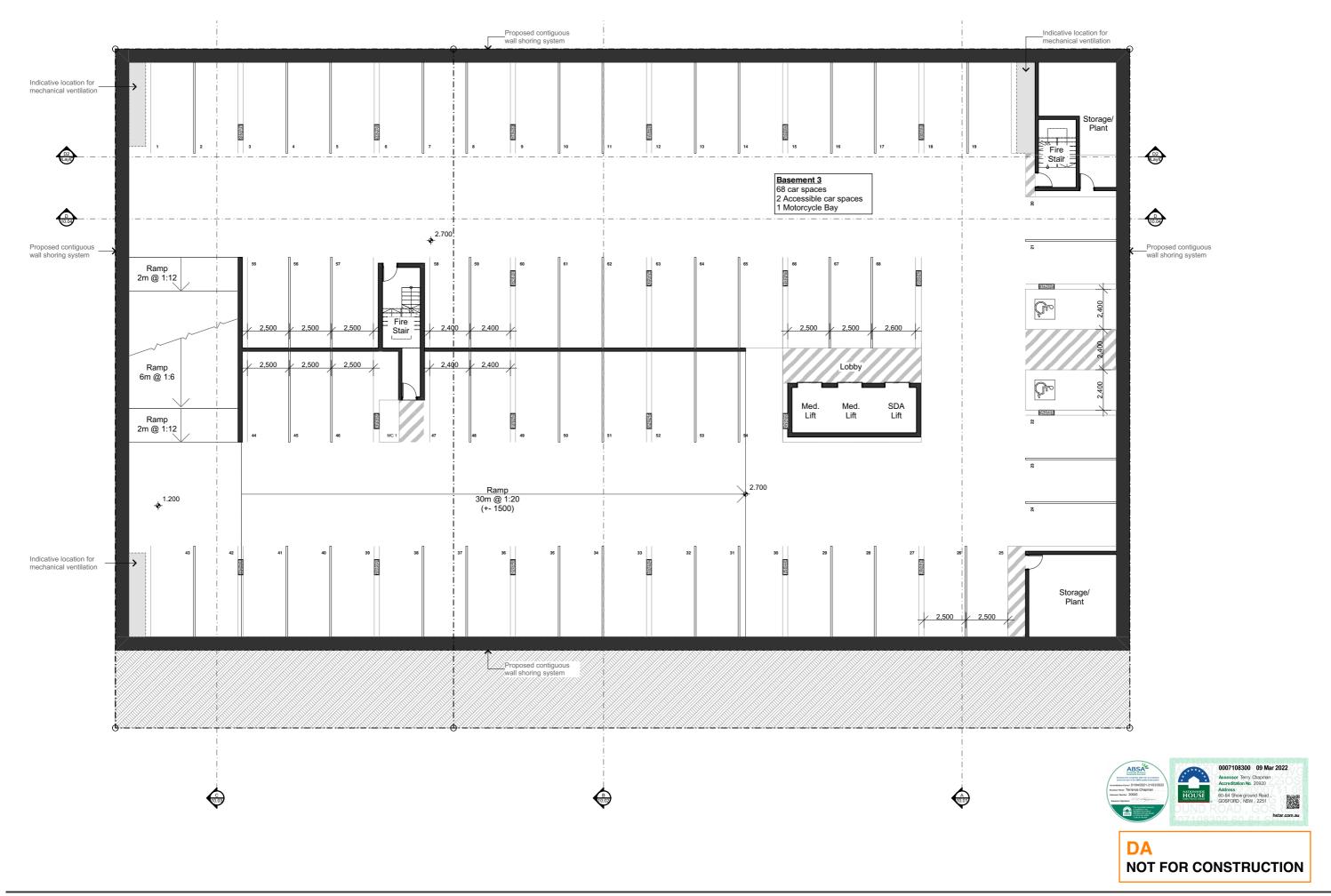
elevition

(07) 3251 6900 info@elevationarchitecture.com.



Floor Plan - Basement 4





1	Revision			Project	Architect	Stage	Project No.
aloution	В	Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
	С	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	D	Updated Drawing Set	14/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	E	Updated Drawing Set	18/01/2022		Diawii		
TIOTTLUTOTL	F	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
(07) 3251 6900 info@elevationarchitecture.com.au	Eleva	ation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this document is and shall remain th	he property of Elevation Architect	ure. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	r scale dimensions. Contractors must verify all dimension	on site before commencing any work or making shop drawings.	

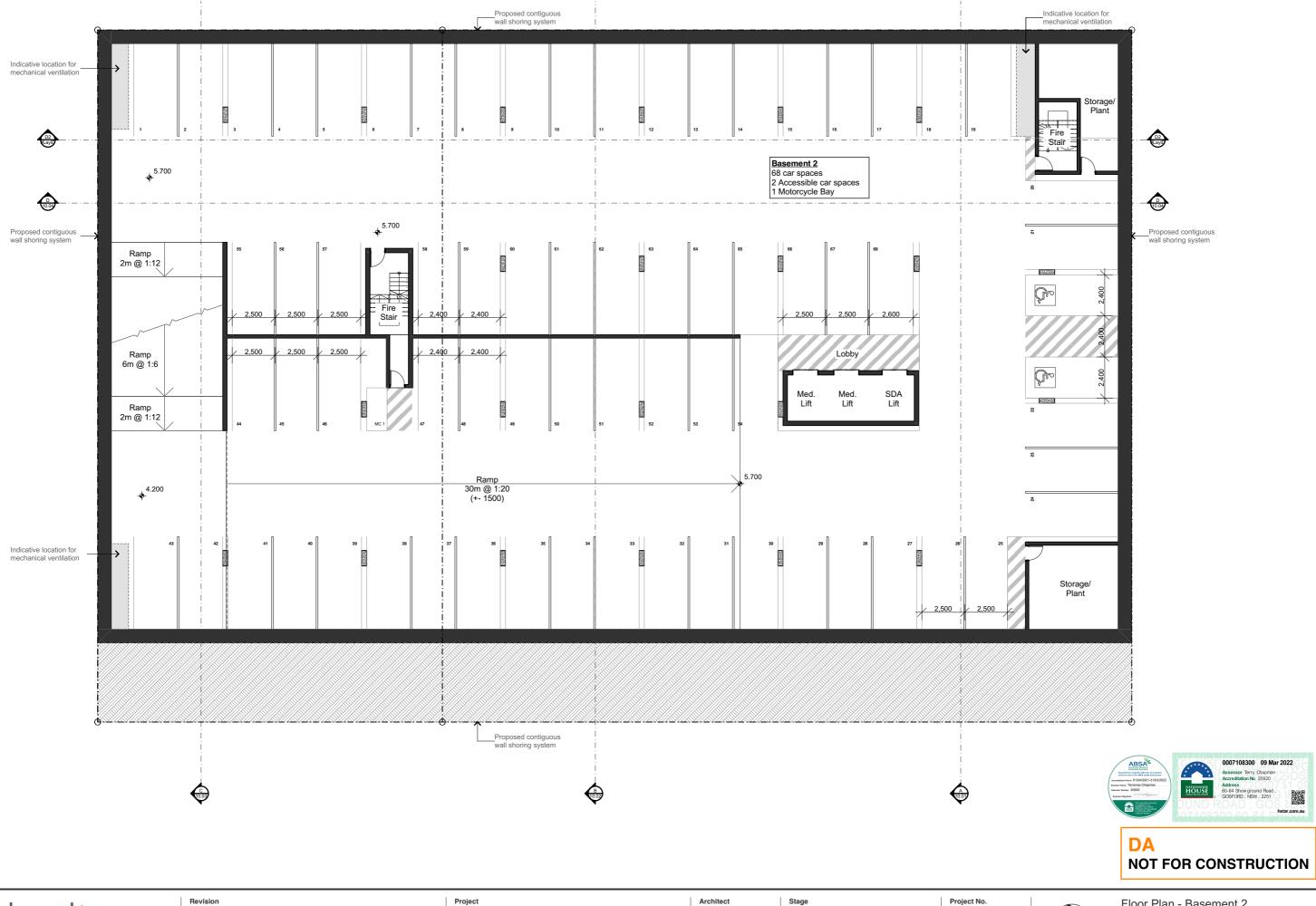


Floor Plan - Basement 3

A-DA-03.02



P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pln



el	е	?\/\	t	IO CHITECT	URE	
(07) 325	1 6900	info@elevat	ionarch	nitecture.con	n.au	

D E

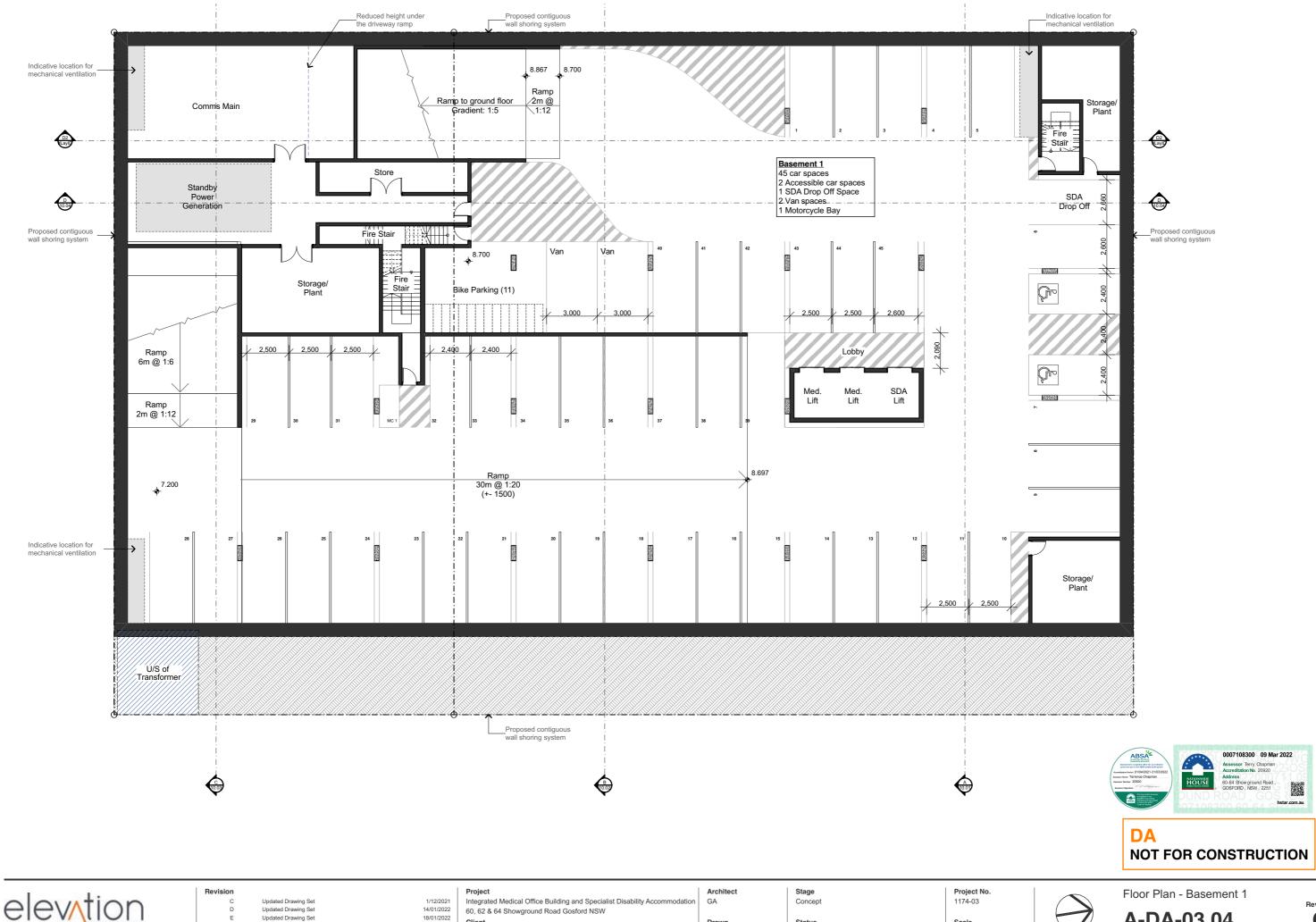
		Project	Architect	Stage	Project No.
Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
Updated Drawing Set	14/01/2022	Client	Drawn	Status	Casla
Updated Drawing Set	18/01/2022		Drawn		Scale
DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
avation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this docume	ent is and shall remain the property of Elevation Architectu	re. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	r scale dimensions. Contractors must verify all dimension	s on site before commencing any work or making shop drawings.	



Floor Plan - Basement 2

A-DA-03.03





e	e	?\ <mark>\</mark>	T	O	n	
(07) 325	51 6900	info@elevati	ionarch	itecture.co	m.au	

Updated Drawing Set
Updated Drawing Set
Updated Drawing Set
Updated Drawing Set
DA Drawings

Client CHP

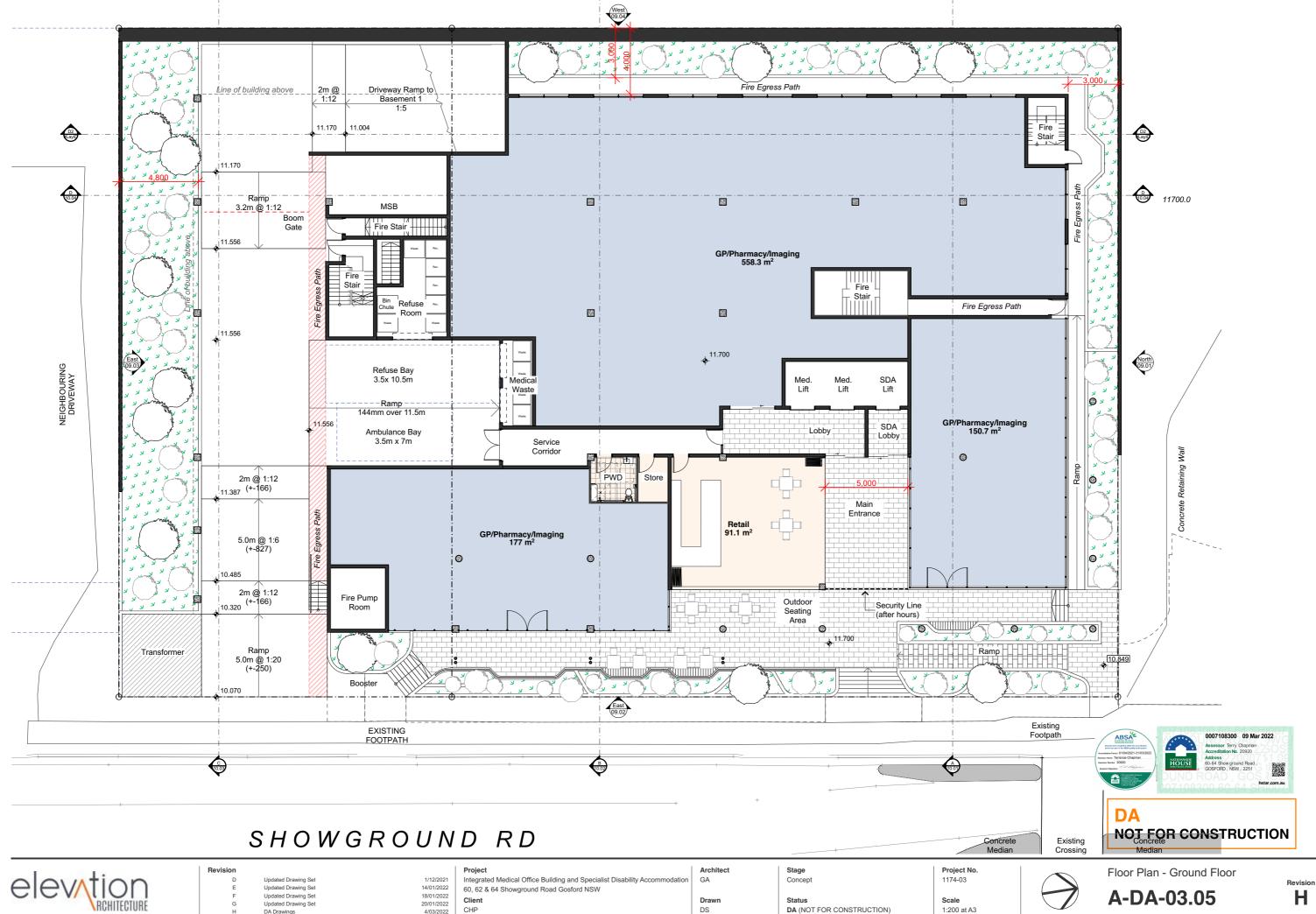
d Medical Office Building and Specialist Disability Accommodation	Architect	Stage
64 Showground Road Gosford NSW	GA	Concept
-	Drawn DS	Status DA (NOT FOR CONSTRUCTION

	Scale
ON)	1:200 at A3





A-DA-03.04



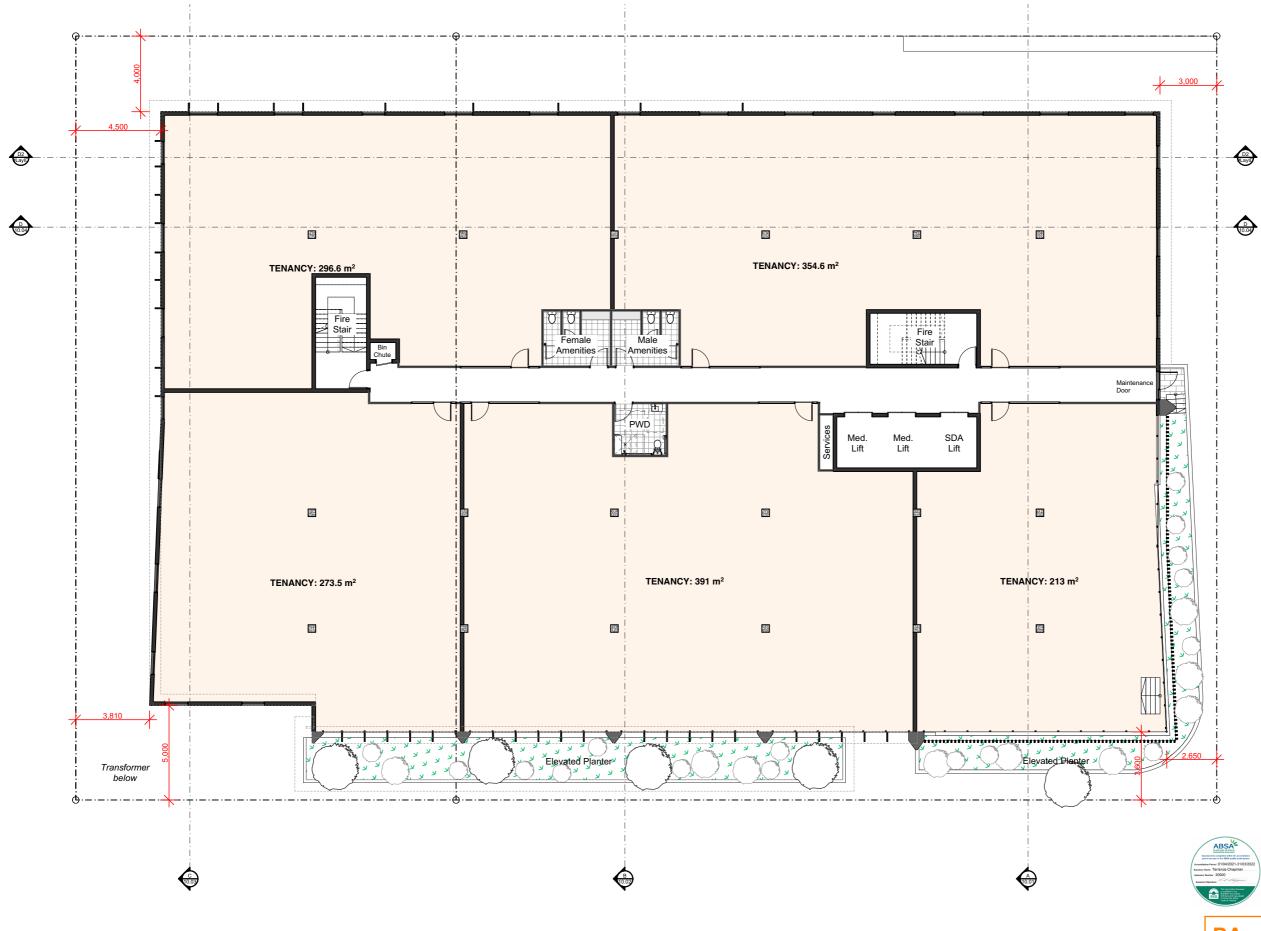


Updated Drawing Set
Updated Drawing Set
Updated Drawing Set
Updated Drawing Set
DA Drawings

1/12/2021
14/01/2022
18/01/2022
20/01/2022
4/03/2022

roject
tegrated Medical Office Building and Specialist Disability Accommodation
0, 62 & 64 Showground Road Gosford NSW
lient

Stage	Project No.
Concept	1174-03
Status	Scale
DA (NOT FOR CONSTRUCTION) are on site before commercing any work or making shop drawings.	1:200 at A3



1 1 2	Revision			Project	Architect	Stage	Project No.
alovetion	С	Updated Ground Level	29/11/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
	D	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	E	Updated Drawing Set	14/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	F	Updated Drawing Set	18/01/2022		Diawii		
INDITILUTURE	G	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
(07) 3251 6900 info@elevationarchitecture.com.au	E	evation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this doc	ument is and shall remain the property of Elevation Architectu	re. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	scale dimensions. Contractors must verify all dimension	s on site before commencing any work or making shop drawings.	1

elev



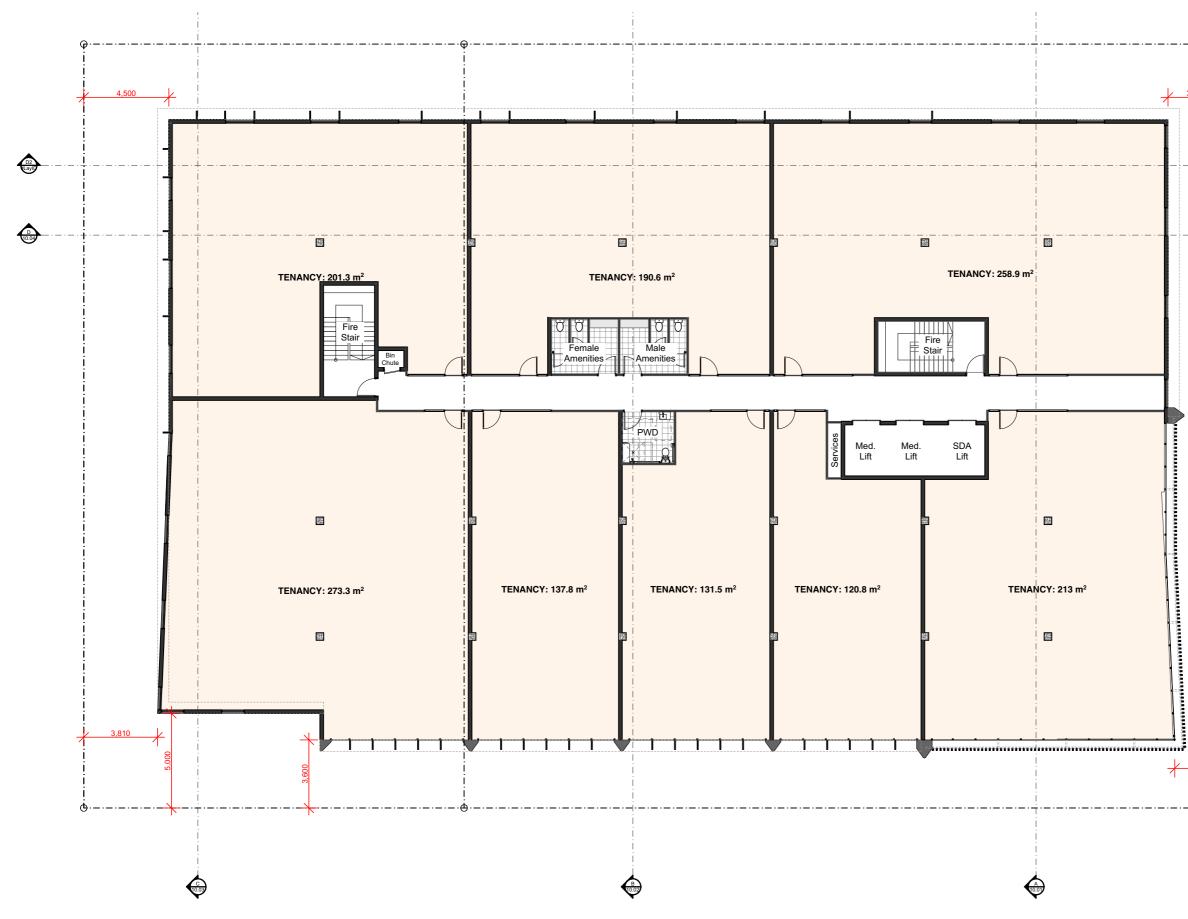
Floor Plan - First Floor A-DA-03.06





0007108300 09 Mar 2022

sor Terry Chapman ditation No. 20920



	Revision			Project	Architect	Stage	Project No.
20	В	Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
)[]	С	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	D	Updated Drawing Set	14/01/2022	Client	Drown	Status	Scale
IECTURE	E	Updated Drawing Set	18/01/2022		Drawn		
LOTONE	F	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
re.com.au	B	levation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this document is	and shall remain the property of Elevation Architecture	e. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	r scale dimensions. Contractors must verify all dimensions	on site before commencing any work or making shop drawings.	

elev

(07) 3251 6900 info@elevationarchitect



ABS

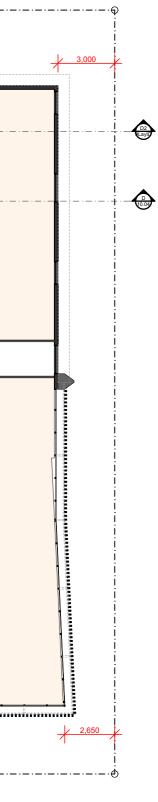
Floor Plan - Second Floor





0007108300 09 Mar 2022

No. 20920





1 1 2	Revision			Project	Architect	Stage	Project No.
alovetion	В	Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
	С	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	D	Updated Drawing Set	14/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	E	Updated Drawing Set	18/01/2022		Diawii		
TIOTITEOTOTE	F	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
(07) 3251 6900 info@elevationarchitecture.com.au	B	evation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this document is	s and shall remain the property of Elevation Architectur	e. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	scale dimensions. Contractors must verify all dimension	s on site before commencing any work or making shop drawings.	

P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pl









NATIONWIDE HOUSE 0007108300 09 Mar 2022

d Road , 2251 hstar.com.au

Address 60-64 Show grour GOSFORD, NSW



1 1 2	Revision			Project	Architect	Stage	Project No.
aloution	В	Updated Drawing Set	19/08/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
	С	Updated Drawing Set	1/12/2021	60, 62 & 64 Showground Road Gosford NSW			
	D	Updated Drawing Set	14/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	E	Updated Drawing Set	18/01/2022				
INTELETOIL	F	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
(07) 3251 6900 info@elevationarchitecture.com.au	E	evation Architecture Pty Ltd ACN 606 170 807 © Copyright reserved this document	is and shall remain the property of Elevation Architectu	re. Unauthorised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	scale dimensions. Contractors must verify all dimension	s on site before commencing any work or making shop drawings.	

P:IData 1\1174-03 Showground Road Integrated Medical Office Building 5.2 Development Application 5.2.1 ArchiCAD\1174-03\_Master DA 24.pl

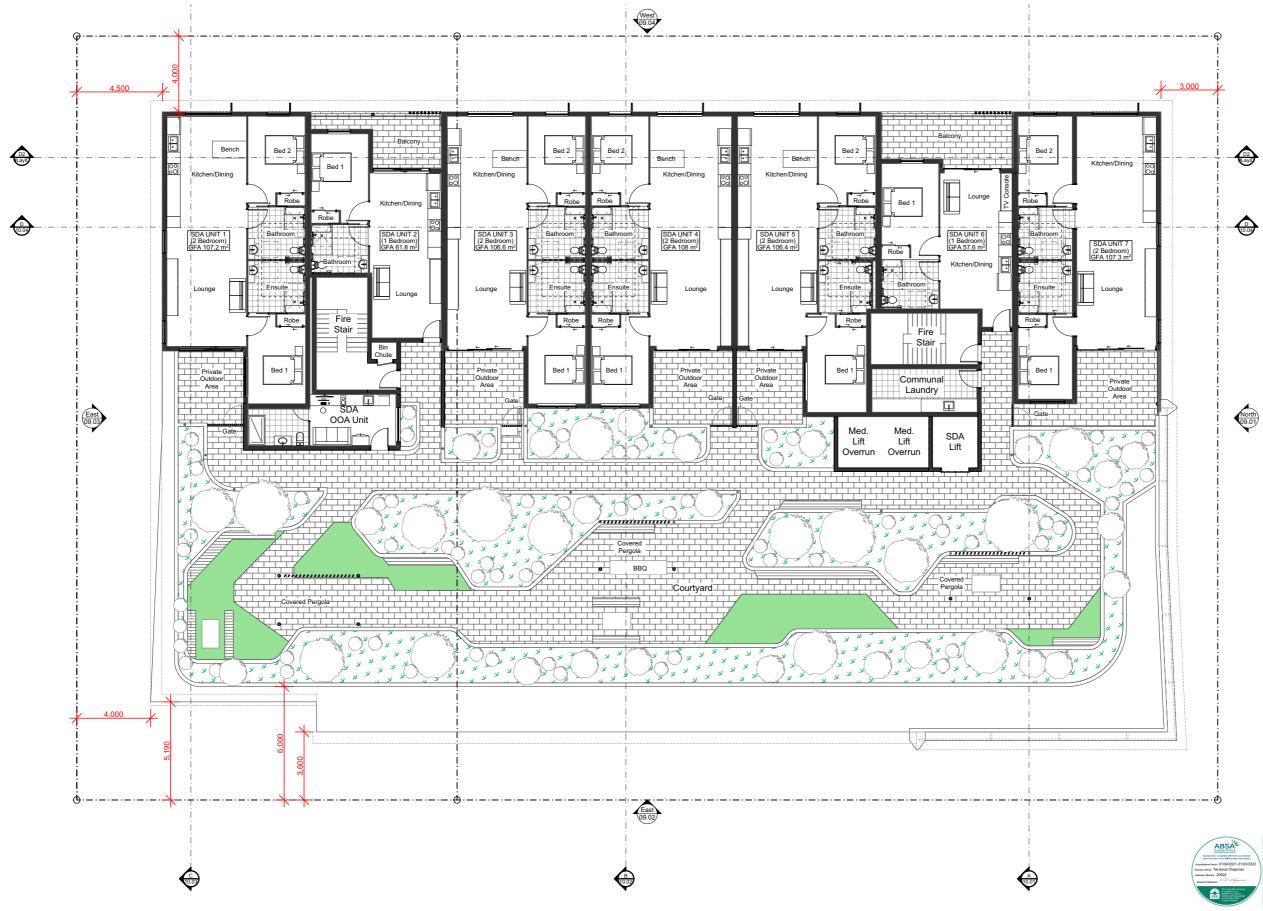


Floor Plan - Fourth Floor A-DA-03.09





0007108300 09 Mar 2022 Assessor Terry Chapman Accreditation No. 20920





P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pl



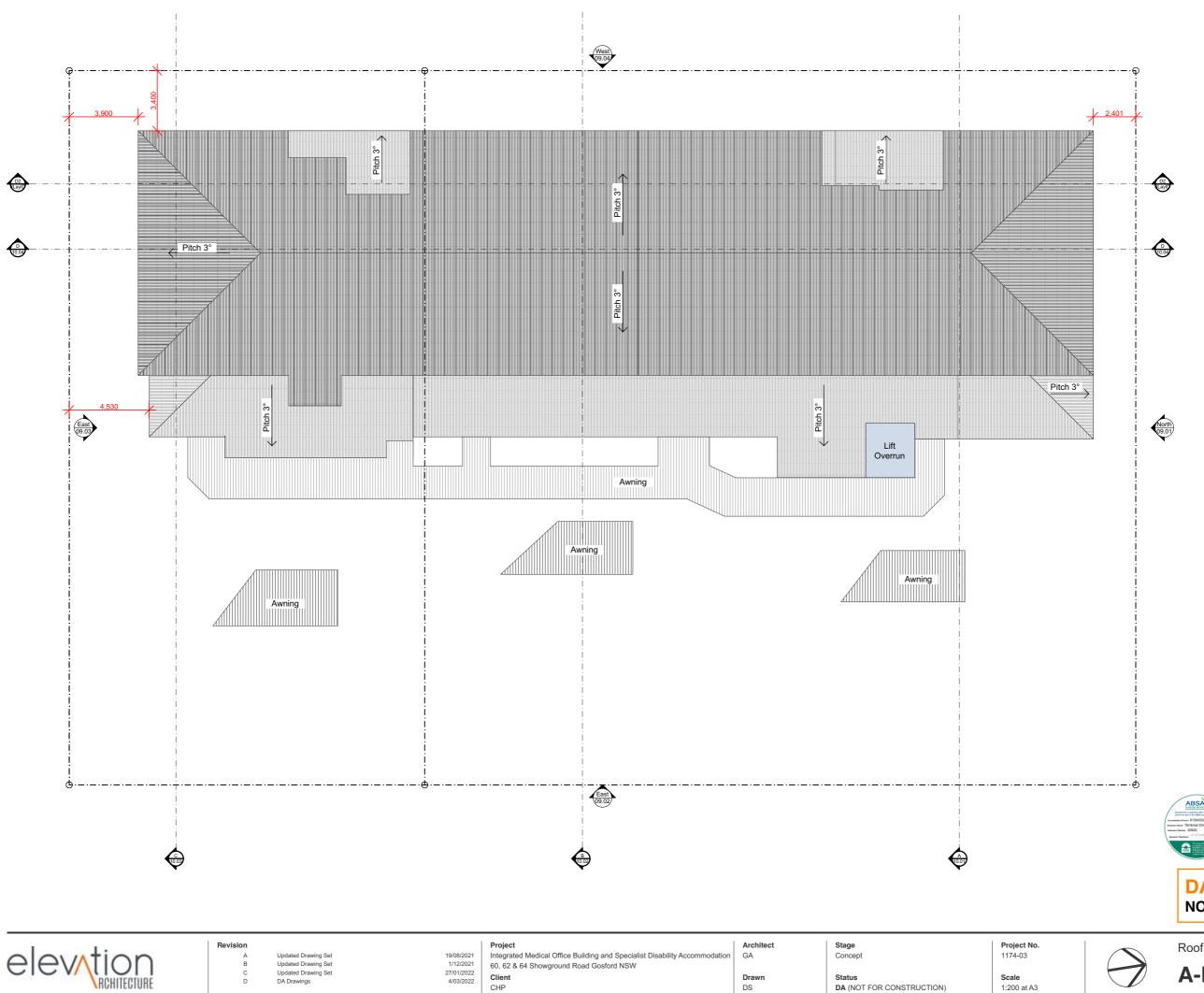
Floor Plan - Fifth Floor





0007108300 09 Mar 2022

ssessor Terry Chapman ccreditation No. 20920



(07) 3251 6900 info@elevationarchitecture.com.au



Roof Plan A-DA-04.01





0007108300 09 Mar 2022

Basix Requirements Summary - Multi Dwelling									
CHP			Prepared by Chapma		ntal Services				
60-64 Showground Road			www.basixcertificates.com.au				CLIA		
Gosford NSW 2250			1300 004 914					CHA	PMA
Water Target		40	Water Score		40	1			
Energy Target		20	Energy Score		25	-			
Max. Heating Load is (	41/m2)				36	-			
Max. Cooling Load is (		54	Actual Heating Load			-			
Iviax. Cooling Load is (i	vu/m=)	32	Actual Cooling Load		15.8				
			Basix Co	mmitments					
Landscaping	Total area o	of garden & I	awn (m²) 150		Area of indi	genous/low	water use p	lants (m <sup>2</sup> )	100
Fixtures	Shower hea	ads	3 star (> 7.5 but <= 9	1/min)	Toilets	4 star		All taps	4 star
Tixtures	Shower nee	105	5 5tal (* 7.5 6at 4 5	<b>E</b> //	Tonets	4 3(0)		All taps	4 3(0)
Alternative Water	n/a								
Pool and Spa	n/a								
	Hot water s	vetem	Gas instantaneous			Rating	4 star		
	Bathroom		Individual fan, ducted	to facade or r	oof	with		witch on/off	
	Kitchen ver		Individual fan, ducted f			with		on / timer off	
	Laundry ver		Individual fan, ducted f			with		witch on/off	
_	Cooling - liv		1-phase airconditioning			Rating	2 star ave		
Energy	Cooling - be		1-phase airconditionin			Rating	2 star ave		
	Heating - liv		1-phase airconditionin			Rating	2 star ave		n/a
	Heating - b		1-phase airconditionin			Rating	2 star ave		1
	Alternate E		Photovoltaic system at		e at least	n/a		atts of electri	city
	Gas cookto	p & electric o	oven (	Outdoor cloth				or clothesline	
h									
		Thermal Per	formance Assessment	Based on the	Following R	equirement	ts		
Floor Types	Suspended	concrete sla	b	with	No insulatio	on required			
			15 days			-			
Floor Coverings	Tiles	Wet araes / Bedrooms	Living		Timber Concrete	n/a n/a			
-	Carpet	Bedrooms			Concrete	n/a			
External Walls	Timber fran	ned Fibro cla	d	with	Sarking and	R2.0 bulk i	nsulation	Colour	Medium
Internal Walls	Plasterboar	d		with	No insulatio	on required			
Party Walls	Derel light	weight party	wall avatam		or equivale				
Party Walls	BUI'di ligiti i	weight party	wall system	with	or equivale	iii.			
Ceilings (roof over)	Concrete al	oove plasterb	ooard	with	R2.5 unders	alab insulati	on		
Roof	Concrete			with	Waterproof	membrane	e only		
	AF single gl	azed clear		Group A	ALM-001-0	1   U-Value	6.70 or less	SHGC 0.57	+/- 5%
								SHGC 0.70 -	
Windows and Doors	to all window:	s and glazed do	ors unless noted otherwise	0.00p -		- ,			,
willows and bools	Group A windows are Awning, Bifold, Casement or Tilt'n'turn				Group A doors are Bifold, Entry, French or Hinged				
					Group B doors				
	AF = Aluminiu	m Framed	TB = Thermally Broken Alun	ninium Framed		TF = Timber F	ramed	1	
	If the Universi	al Certificate in	dicates downlights, then the	se are to he non	wentilated I FF	/ fluorescent			
			o be fitted with self-closing a						
			be installed in accordance w						
			veen this document and the			athene Cost Co	ate chall tota		
	ij uiere is a al	screpunCy Detw	reen unis uocument and the	vainers Certifici	ute, then the Ni	uners certific	ute snull take p	receveriCe	

**PF-01** Paint Finish Dulux Natural White





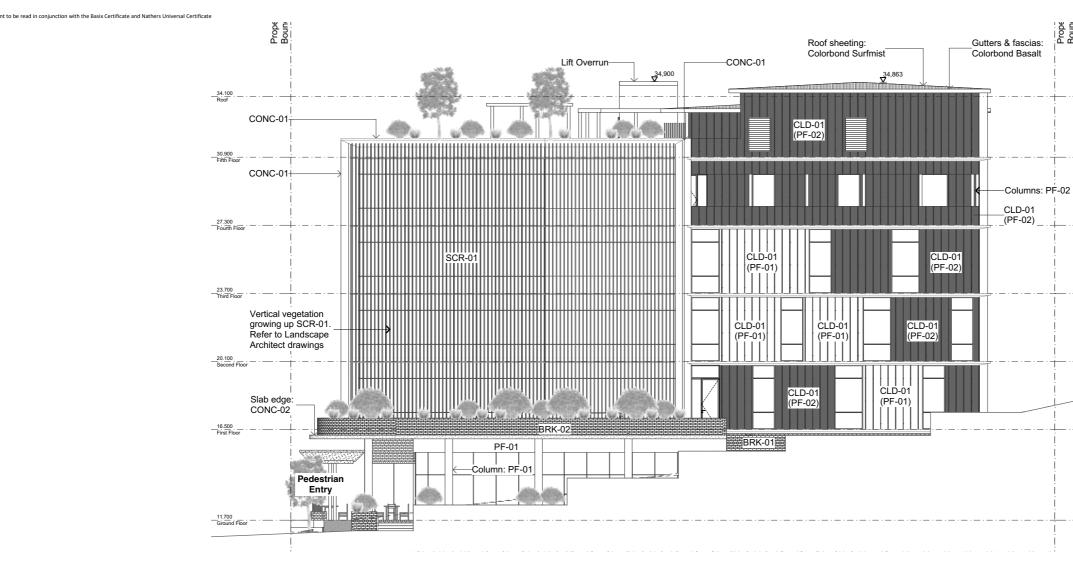
**BRK-01** Austral Bricks Nubrik Pressed Bricks range - Spencer Tan



**CLD-02** Timber-look aluminium cladding Australian Beech



CONC-01 Exposed dark daoncrete finish North, East & West elevations





Revisio Elevations & Renders Updated Drawing Set

Updated Drawing Set Updated Drawing Set DA Drawings

16/07/2021
19/08/2021
1/12/2021
27/01/2022
4/03/2022

Project Integrated Medical Office Building and Specialist Disability Accommodation 60, 62 & 64 Showground Road Gosford NSW Client CHP

Stage Concept
Status DA (NOT FOR CONSTRUCTION)

Architect

Drawn

GA

DS

Project No. 1174-03



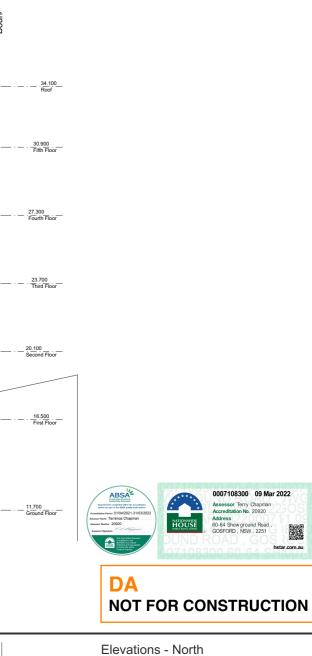
- **BRK-02** Austral Bricks La Paloma range Castellana



**CONC-02** Slab extension & expressed columns Eastern elevation only



SCR-01 50 x 50 Aluminium Battens (powdercoated PF-01) @100ctrs





A-DA-09.01



BRK-01



**PF-01** Paint Finish Dulux Natural White

**PF-02** Paint Finish Dulux Teahouse

CLD-02

Austral Bricks Nubrik Pressed Bricks range - Spencer Tan



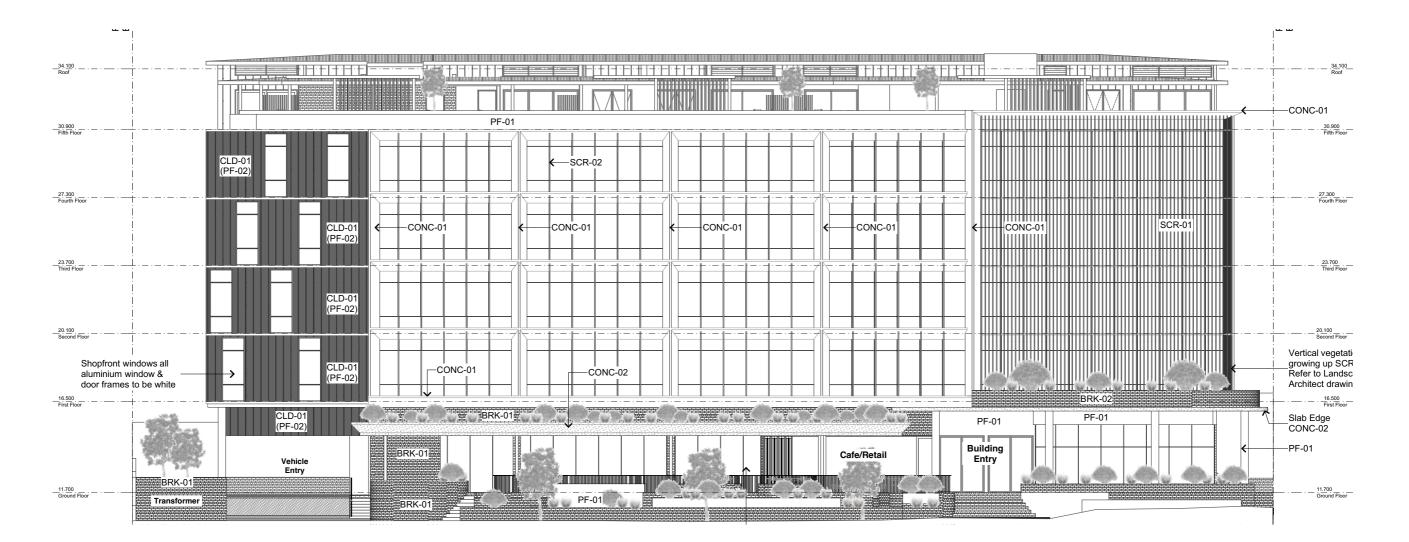
James Hardie Axon Cladding (400 smooth)



Timber-look aluminium cladding Australian Beech



CONC-01 Exposed dark daoncrete finish North, East & West elevations







BRK-02 Austral Bricks La Paloma range - Castellana



CONC-02 Slab extension & expressed columns Eastern elevation only



Elevations - East

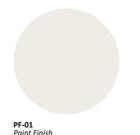
A-DA-09.02

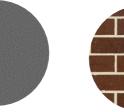


SCR-01 50 x 50 Aluminium Battens (powdercoated PF-01) @100ctrs

Revision

Ε







**PF-01** Paint Finish Dulux Natural White

**PF-02** Paint Finish Dulux Teahouse

**BRK-01** Austral Bricks Nubrik Pressed Bricks range - Spencer Tan







**CLD-02** Timber-look aluminium cladding Australian Beech CONC-01 Exposed dark daoncrete finish North, East & West elevations







**BRK-02** Austral Bricks La Paloma range - Castellana



**CONC-02** Slab extension & expressed columns Eastern elevation only



SCR-01 50 x 50 Aluminium Battens (powdercoated PF-01) @100ctrs

16.500 First Floor 0007108300 09 Mar 2022 ABSA ssessor Terry Chapman ccreditation No. 20920 Accreditation No. Address 60-64 Showground Road , GOSFORD , NSW , 2251 NATIONWIDE HOUSE Name Terrence C Name 20920 The According of the Ac



Elevations - South









**PF-01** Paint Finish Dulux Natural White

**PF-02** Paint Finish Dulux Teahouse

**BRK-01** Austral Bricks Nubrik Pressed Bricks range - Spencer Tan





**CLD-02** Timber-look aluminium cladding Australian Beech



CONC-01 Exposed dark daoncrete finish North, East & West elevations





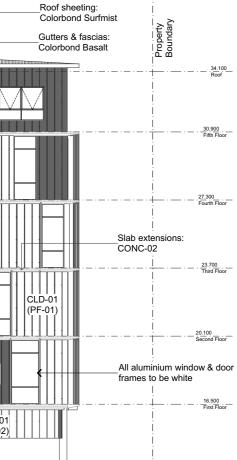


**BRK-02** Austral Bricks La Paloma range - Castellana

SCR-01 50 x 50 Aluminium Battens (powdercoated PF-01) @100ctrs



**CONC-02** Slab extension & expressed columns Eastern elevation only



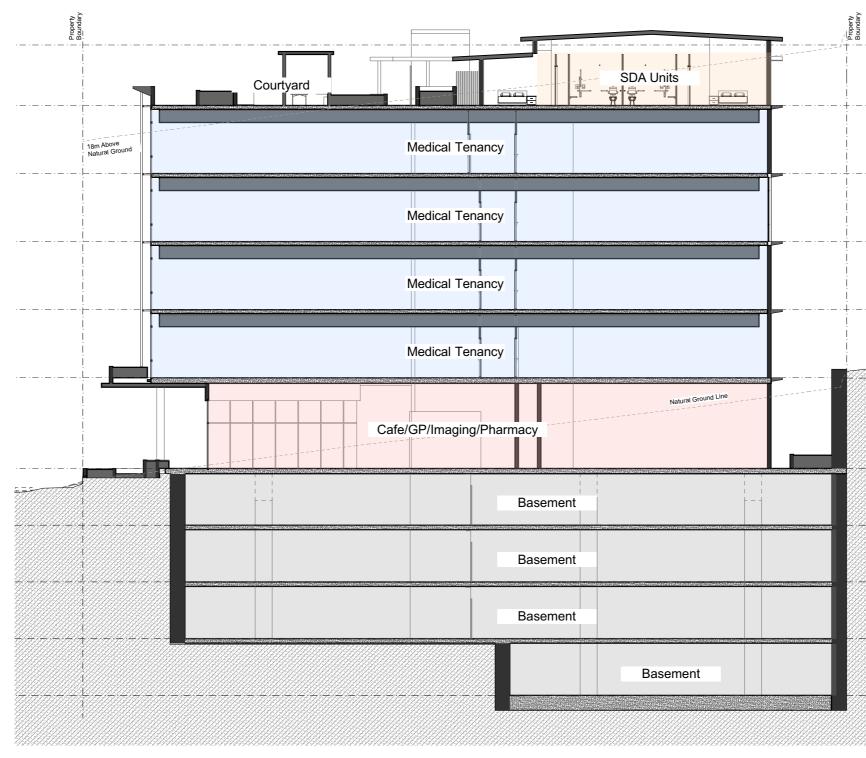


\_\_\_\_\_\_\_ Ground Floor

Elevations - West



A-DA-09.04



A Section A Scale 1:200



Revision	
A	Preliminary Drawing Set
В	Updated Drawing Set
С	Updated Drawing Set
D	Updated Drawing Set
F	DA Drawings

Project	
Integrate	9/07/2021
60, 62 8	19/08/2021
Oliont	1/12/2021
Client	27/01/2022
CHP	4/03/2022

pject egrated Medical Office Building and Specialist Disability Accommodation 62 & 64 Showground Road Gosford NSW	Architect GA	Stage Concept
ent	Drawn	Status
IP	DS	DA (NOT F

Concept
Status
DA (NOT FOR CONSTRUCTION)
site before commencing any work or making shop drawings.

Project No. 1174-03 Scale 1:200 at A3



Section A





2.700 Basement 3

-0.300 Basement 4

5.700 Basement 2

8.700 Basement 1

11.700 Ground Floor

20.100 Second Floor

16.500 First Floor

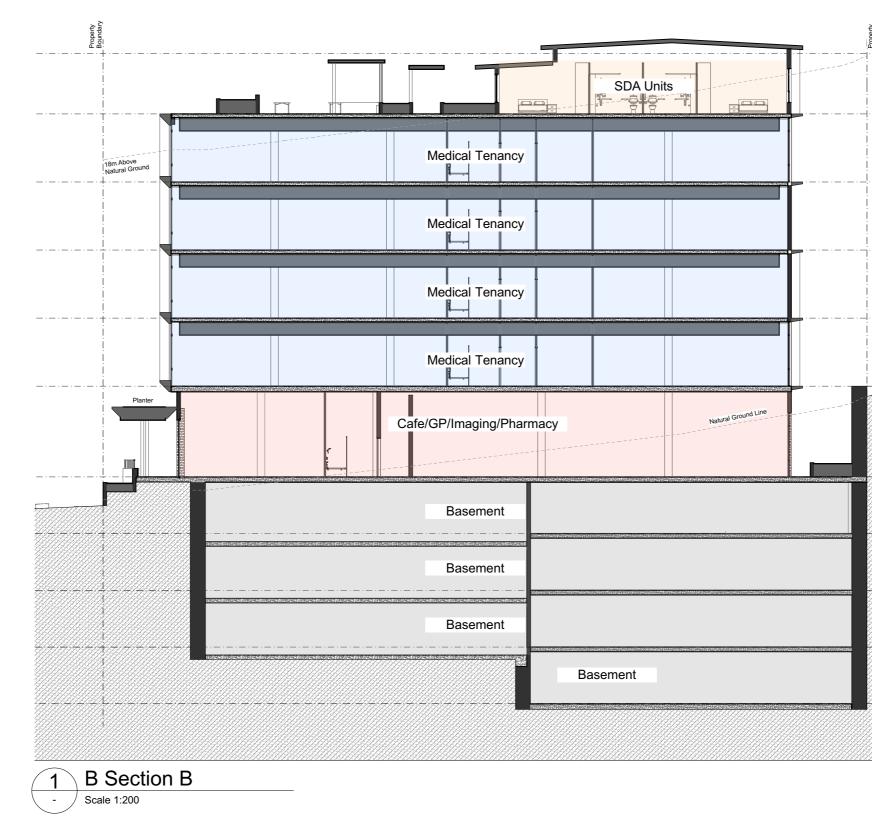
23.700 Third Floor

27.300 Fourth Floor

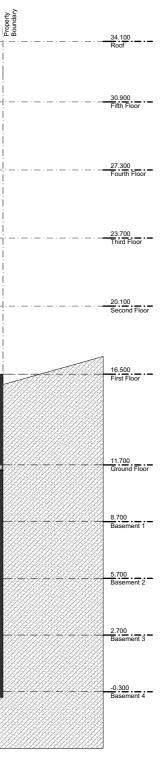
30.900 Fifth Floor

\_\_\_\_\_34.100 Roof









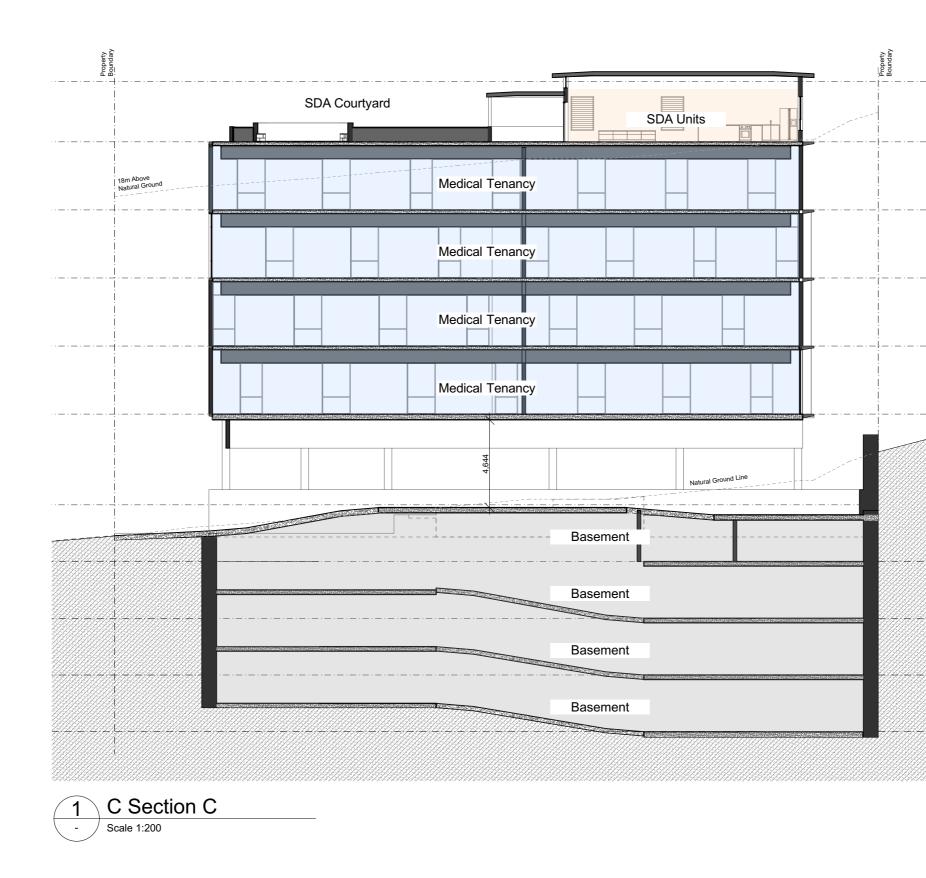


Section B





P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pln



	Revision			Project	Architect	Stage	Project No.
alovation	A	Preliminary Drawing Set	9/07/2021	Integrated Medical Office Building and Specialist Disability Accommodation	GA	Concept	1174-03
$\Theta = \Theta \setminus (A \cap B)$	В	Updated Drawing Set	19/08/2021	60, 62 & 64 Showground Road Gosford NSW			
	С	Updated Drawing Set Updated Drawing Set	1/12/2021 27/01/2022	Client	Drawn	Status	Scale
RCHITECTURE	E	DA Drawings	4/03/2022	CHP	DS	DA (NOT FOR CONSTRUCTION)	1:200 at A3
(07) 3251 6900 info@elevationarchitecture.com.au	Eleva	ation Architecture Pty Ltd ACN 606 170 807 $\odot$ Copyright reserved this documen	t is and shall remain the property of Elevation Architectu	are. Unsufforised use of this document in any form whatsoever is prohibited. All information to be printed in colour. Figured dimensions take precedence over	scale dimensions. Contractors must verify all dimension	s on site before commencing any work or making shop drawings.	

е



NOT FOR CONSTRUCTION



This According to the A

DA

Section C



hstar.com.au

2.700 Basement 3 -0.300 Basement 4 0007108300 09 Mar 2022 Assessor Terry Chapman Accreditation No. 20920 

5.700 Basement 2

8.700 Basement 1

11.700 Ground Floor

20.100 Second Floor

16.500 First Floor

23.700 Third Floor

30.900 Fifth Floor

\_\_\_\_\_34.100 Roof

27.300 Fourth Floor







## A Elevations & Renders B Updated Drawing Set C Updated Drawing Set D Updated Drawing Set E DA Drawings

opyright re	served this	documer	nt is and	shall i

16/07/2021 19/08/2021 1/12/2021 27/01/2022 4/03/2022

Project
Integrated Medical Office Building and Specialist Disability A
60, 62 & 64 Showground Road Gosford NSW
Client
CHP

	Architect	Stage	Project N
lity Accommodation	GA	Concept	1174-03
	Drawn	Status	Scale
	DS	DA (NOT FOR CONSTRUCTION)	at A3
igured dimensions take precedence over	scale dimensions. Contractors must verify all dime	nsions on site before commencing any work or making shop drawings.	

North-Eastern Perspective



P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.5







vision	
A	Elevations & Renders
в	Updated Drawing Set
С	Updated Drawing Set
D	Updated Drawing Set
E	DA Drawings

	16/07/202
	19/08/202
	1/12/202
	27/01/2022
	4/03/2022
support is and shall some in the area	easts of Electrice Am

Project Integrated Medical Office Building and Specialist Disability Accommodation 60, 62 & 64 Showground Road Gosford NSW	Architec GA
Client	Drawn
CHP	DS

Stage		Project
Conc	ept	1174-03
Statu	s	Scale
DA (1	IOT FOR CONSTRUCTION)	at A3
al dimensione en eile before e	emmenden en under er melden eben denvinen	

Showground Rd Perspective

A-DA-22.02









Revision	
A	Elevations & Renders
В	Updated Drawing Set
С	Updated Drawing Set
D	Updated Drawing Set
E	DA Drawings

16/07/2021 19/08/2021 1/12/2021 27/01/2022 4/03/2022

Project Integrated Medical Office Building and Specialist Disability Accommodation 60, 62 & 64 Showground Road Gosford NSW	Architect GA
Client CHP	Drawn DS

Stage	Project No.
Concept	1174-03
Status	Scale
DA (NOT FOR CONSTRUCTION)	at A3

South-Eastern Perspective





P:\Data 1\1174-03 Showground Road Integrated Medical Office Building\5.2 Development Application\5.2.1 ArchiCAD\1174-03\_Master DA 24.pln



(07) 3251 6900 info@

16/07/2021 19/08/2021 1/12/2021 27/01/2022 4/03/2022

Drawn DS

Status DA (NOT FOR CONSTRUCTION)



Scale at A3