

Integrated Medical Office Building and Specialist Disability Accommodation

Development Numbers

| | |
|-----------------------|---|
| Street Address: | 60, 62 and 64 Showground Road, Gosford |
| Property Description: | Lots 1-4 on SP 20095 and Lots 1-6 on SP 20058 |
| Site Area: | 2437sqm |
| Proposal Description: | Mixed use development consisting of an integrated health hub facility and disability accommodation. Retail and medical land uses such as GP clinic, pharmacy, radiology, pathology on the ground level; with 4 levels of medical suites above. Level 5 will provide seven specialist disability accommodation units |

Carparking Numbers

| | | |
|---|---|--|
| Basement 1 45 Car spaces 2 Accessible Car spaces 1 SDA Drop off space 2 Van spaces 1 Motorcycle Bay | Basement 3 68 Car spaces 2 Accessible Car spaces 1 Motorcycle Bay | Total Carparking Numbers 216 Car spaces 6 Accessible Car spaces 3 Motorcycle Bays 1 SDA Drop off space 2 Van spaces |
| Basement 2 68 Car spaces 2 Accessible Car spaces 1 Motorcycle Bay | Basement 4 35 Car spaces | |

Drawing List

| Drawing No. | Drawing Name |
|-------------|---------------------------|
| 00.01 | Context & Locality Plans |
| 01.01 | Site Plan |
| 01.02 | Existing Survey |
| 03.01 | Floor Plan - Basement 4 |
| 03.02 | Floor Plan - Basement 3 |
| 03.03 | Floor Plan - Basement 2 |
| 03.04 | Floor Plan - Basement 1 |
| 03.05 | Floor Plan - Ground Floor |
| 03.06 | Floor Plan - First Floor |
| 03.07 | Floor Plan - Second Floor |
| 03.08 | Floor Plan - Third Floor |
| 03.09 | Floor Plan - Fourth Floor |
| 03.10 | Floor Plan - Fifth Floor |
| 04.01 | Roof Plan |
| 09.01 | Elevations - North |
| 09.02 | Elevations - East |
| 09.03 | Elevations - South |
| 09.04 | Elevations - West |
| 10.01 | Section A |
| 10.02 | Section B |
| 10.03 | Section C |
| 22.01 | North-Eastern Perspective |
| 22.02 | Showground Rd Perspective |



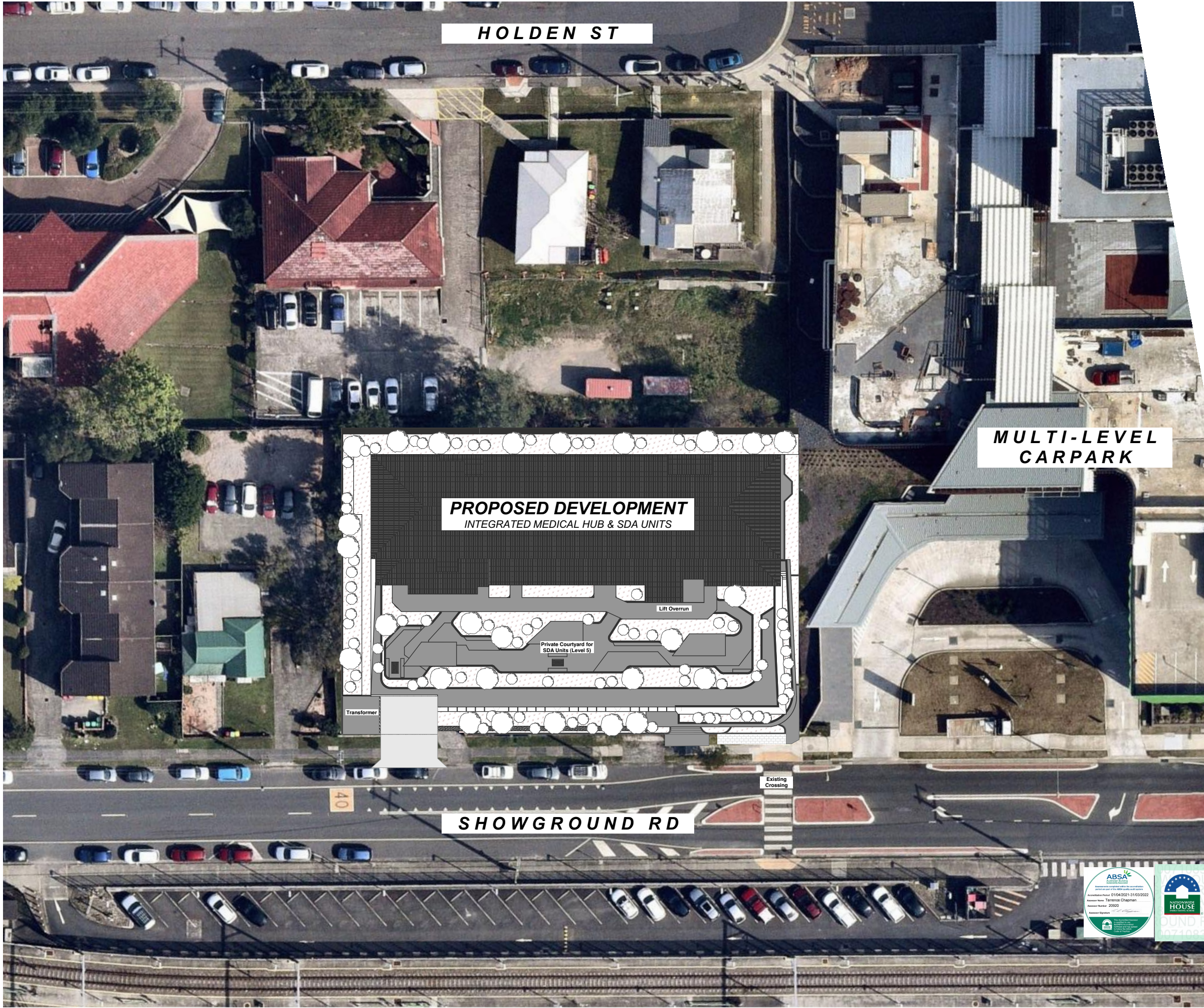


ABSA
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Assessor: Terry Chapman
Accreditation No. 20920
Address: 60-64 Showground Road, Gosford, NSW, 2251
Phone: 02 4321 1174
Email: info@elevationarchitecture.com.au



0007108300 09 Mar 2022
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DA
NOT FOR CONSTRUCTION



INSTRUCTION

| Revision | |
|----------|---------------------|
| A | Updated Site Plan |
| B | Updated Drawing Set |
| C | DA Drawings |

23/09/2021
27/01/2022
4/03/2022

Project
Integrated Medical Office Building and Specialist Disability Accommodation
60, 62 & 64 Showground Road Gosford NSW
Client
CHP

Architect
GA
Drawn
DS

Stage
Concept
Status
DA (NOT FOR CONSTRUCTION)

Project No.
1174-03
Scale
at A3



Site Plan
A-DA-01.01

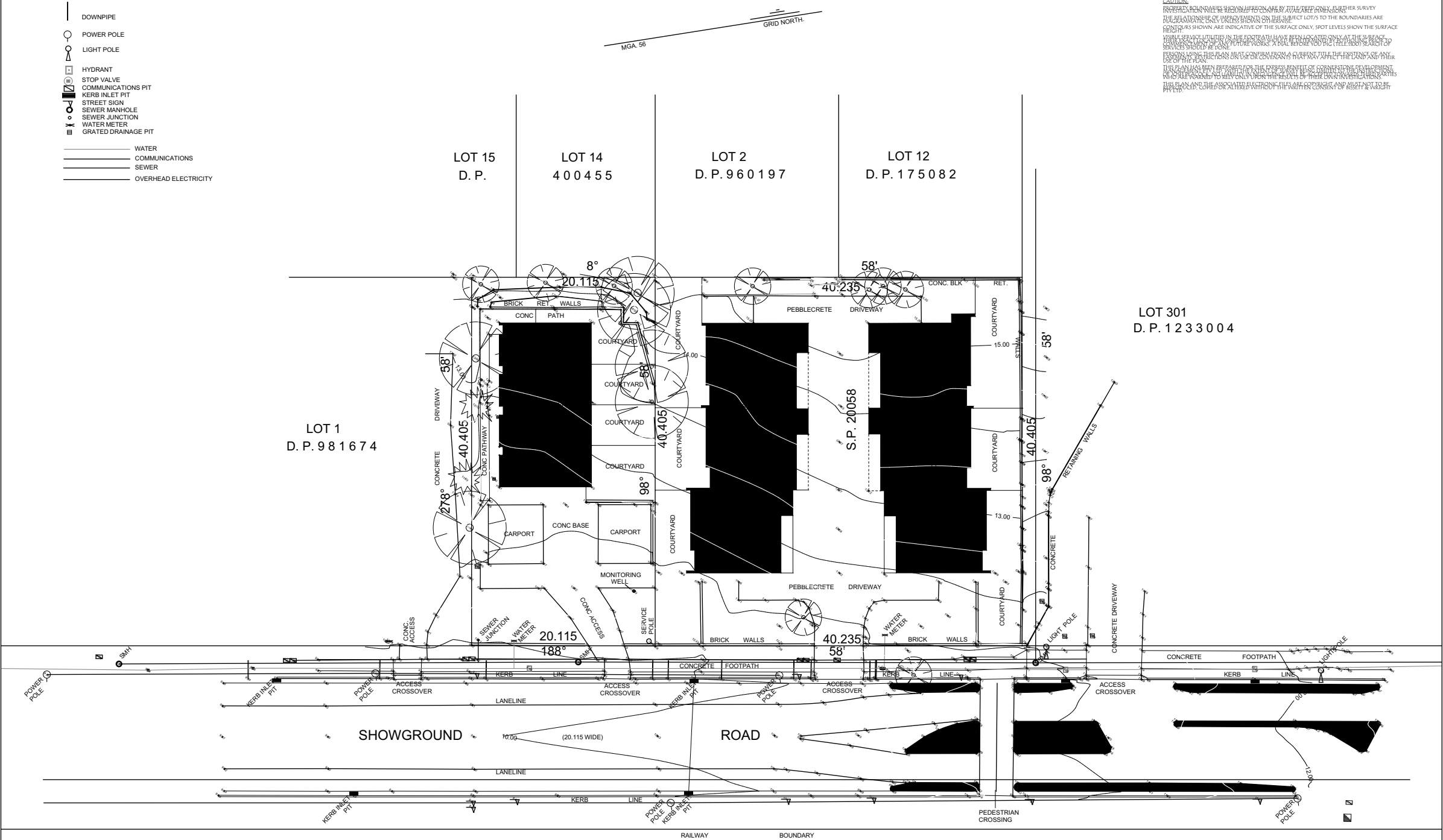
Revision
C



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| | | | | | | | | | |
|---|---|------------|----|------|-----------------------------|---|------------------------------|----------------------|-------------------|
| PLAN DATED 27/05/2021 | | | | | | | | | |
| ORIGIN OF LEVELS:- PM 19236 RL = 14.712 AHD | PROPERTY DETAILS LOT/D.P.: - SP 20058 & SP 20095 STREET:- SHOWGROUND ROAD SUBURB:- GOSFORD | AMENDMENTS | BY | DATE | DATUM: A.H.D | BISSETT & WRIGHT PTY LIMITED. ACN 001 312 812 CONSULTANTS IN LAND SURVEYING, ENGINEERING AND PLANNING. SUITE 3 71a VICTORIA STREET EAST GOSFORD NSW 2250 PHONE : 02 43 243799 FAX : 02 43 247941 EMAIL: bwsurvey@optusnet.com.au | SCALE :- 1:1000 @ A1 | SURFACE DETAIL PLAN | |
| | | | | | CAD DATABASE FILE | | GRID :- MGA | | |
| | | | | | FILE REFERENCE :- 15346 | | CONTOUR INTERVAL :- 0.5m | | |
| | | | | | COMPUTER FILE:- 15346DET | | DATE OF SURVEY :- 19/05/2021 | PLAN No:- 1 | DATE:- 27/05/2021 |
| | | | | | DRAWING FILE:- 15346DET.DWG | | | SHEET 1 OF 1 SHEETS. | |

DA
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| Revision | | |
|----------|---------------------|------------|
| A | Updated Drawing Set | 27/01/2022 |
| B | DA Drawings | 4/03/2022 |

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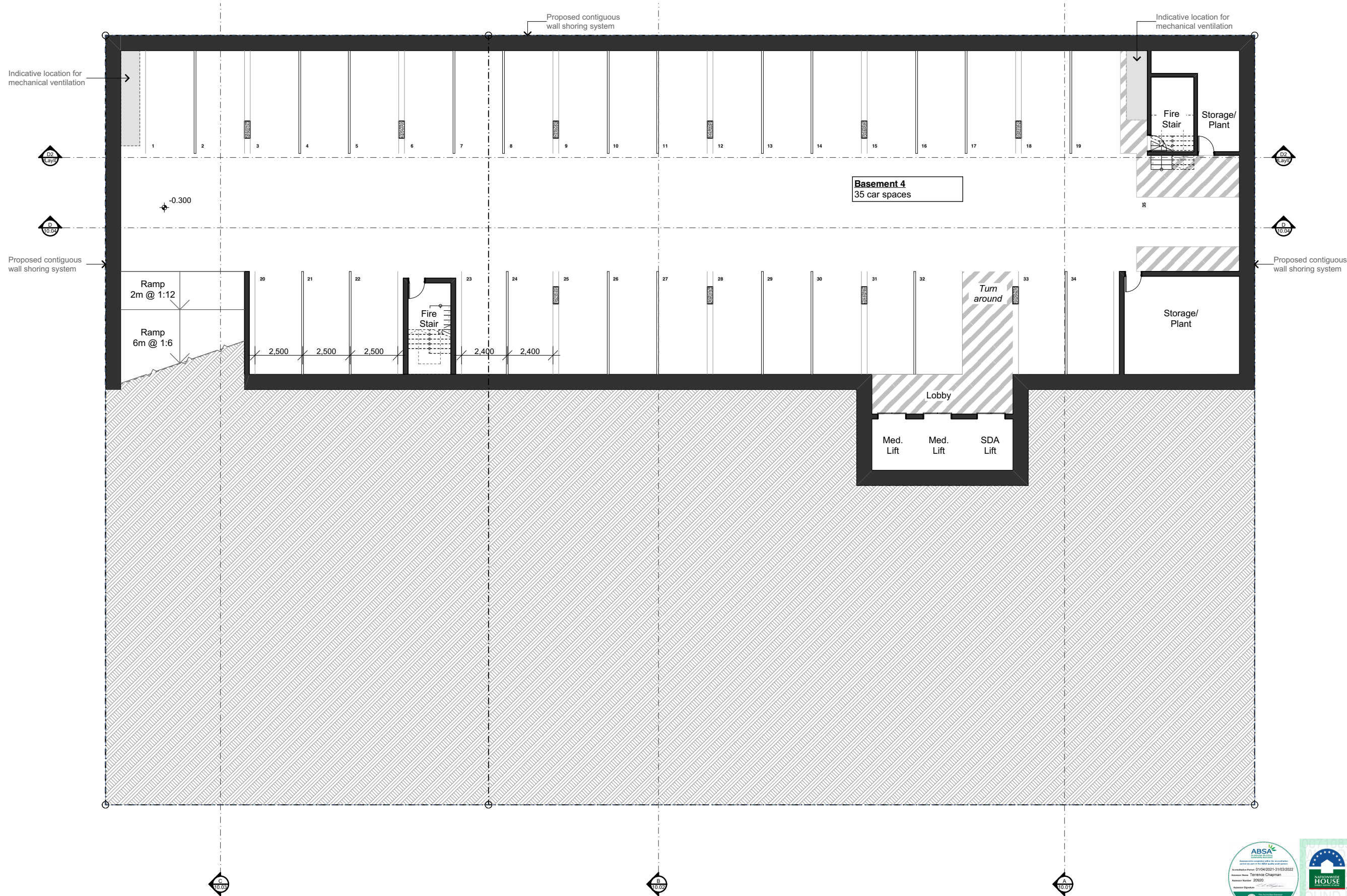
Stage
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Project No.
1174-03
Scale
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Existing Survey
A-DA-01.02

Revision
B





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| C | Updated Drawing Set | 1/12/2021 |
| D | Updated Drawing Set | 14/01/2022 |
| E | Updated Drawing Set | 18/01/2022 |
| F | DA Drawings | 4/03/2022 |

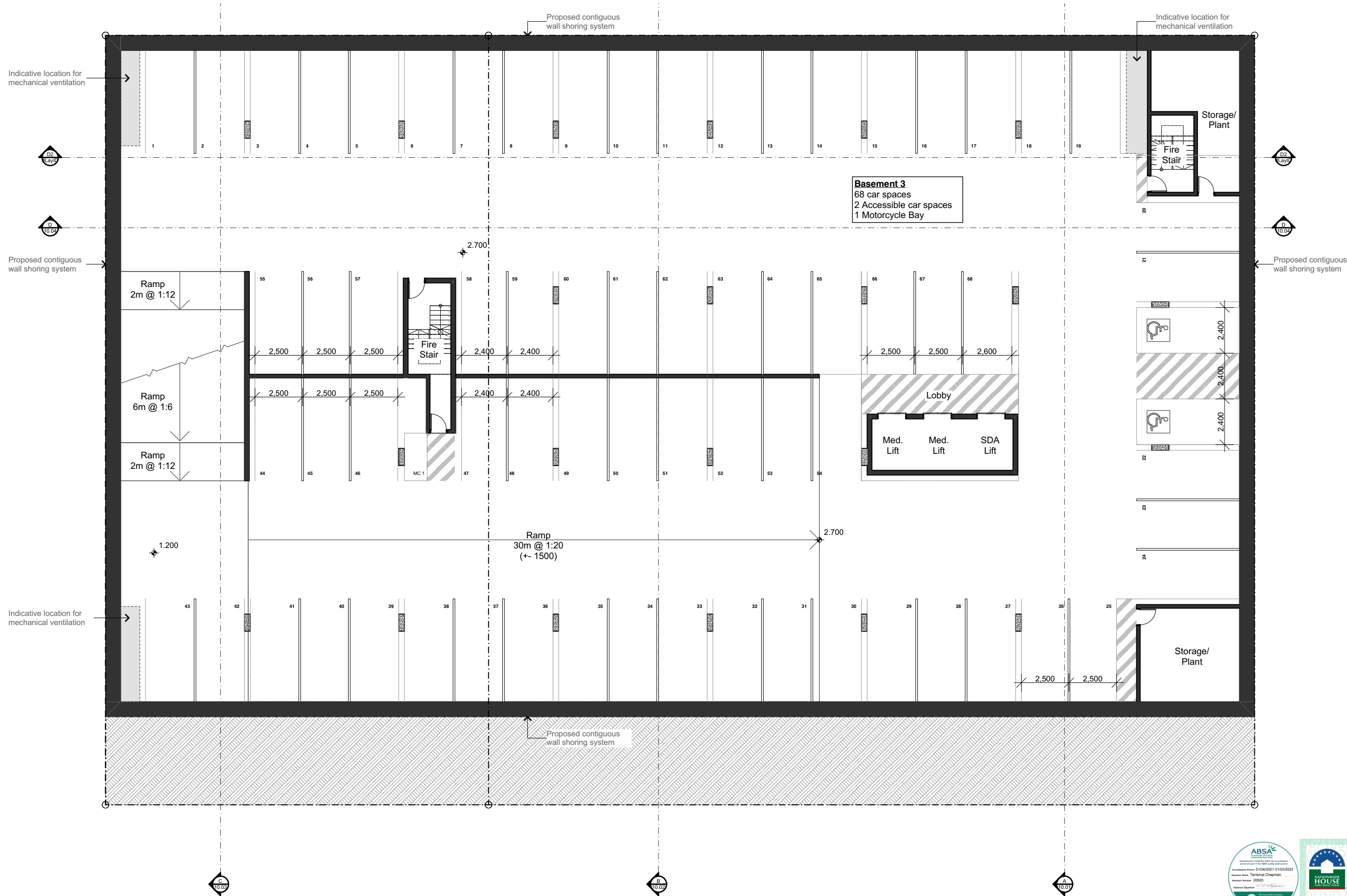
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| 60, 62 & 64 Showground Road Gosford NSW | |
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| Architect | |
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| GA | |
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| DS | |

| Stage | |
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| Project No. | |
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| 1174-03 | |
| Scale | |
| 1:200 at A3 | |







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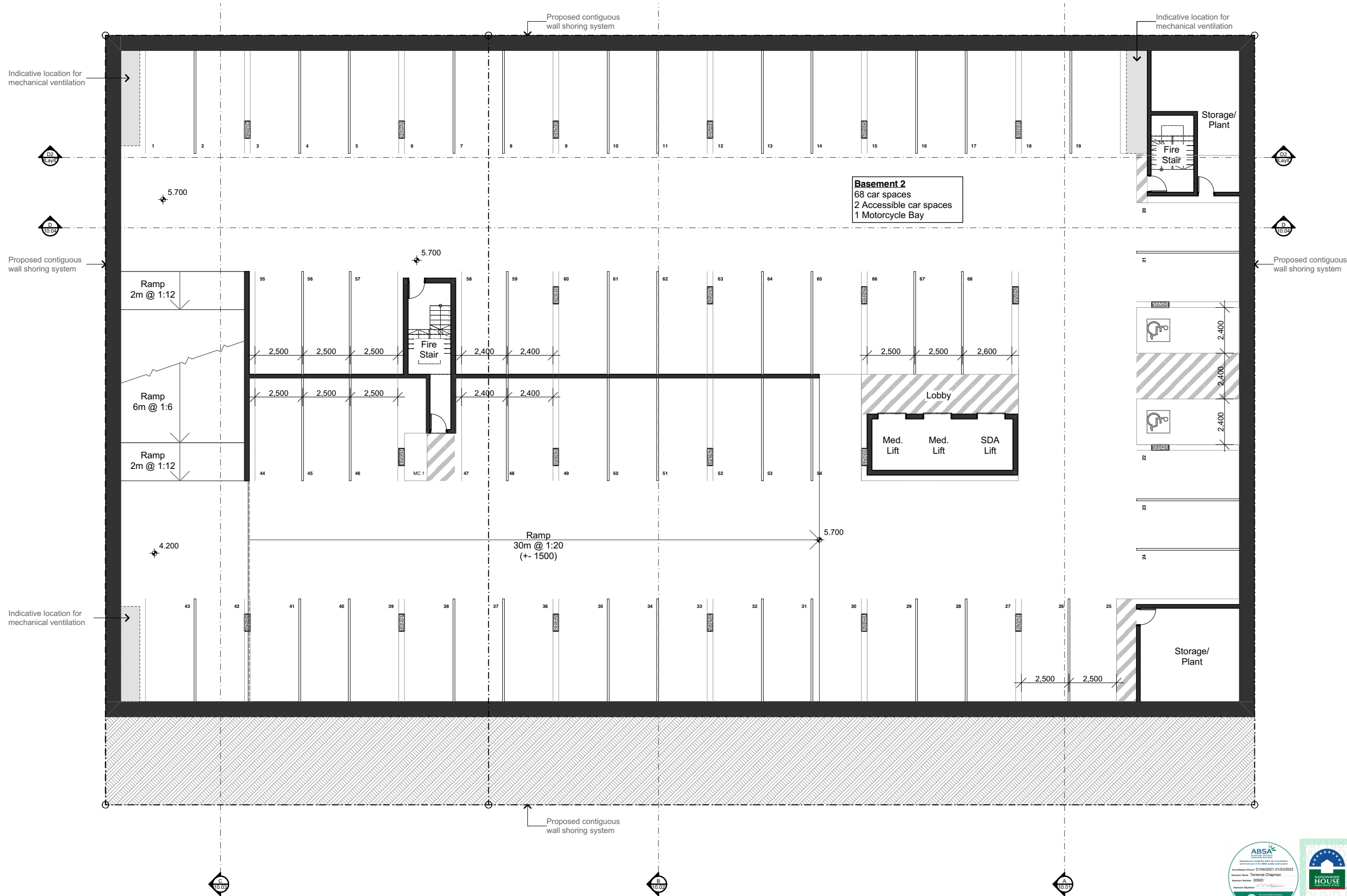
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| Concept | |
| Status | |
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| 1174-03 | |
| Scale | |
| 1:200 at A3 | |



Floor Plan - Basement 3
A-DA-03.02

Revision
F





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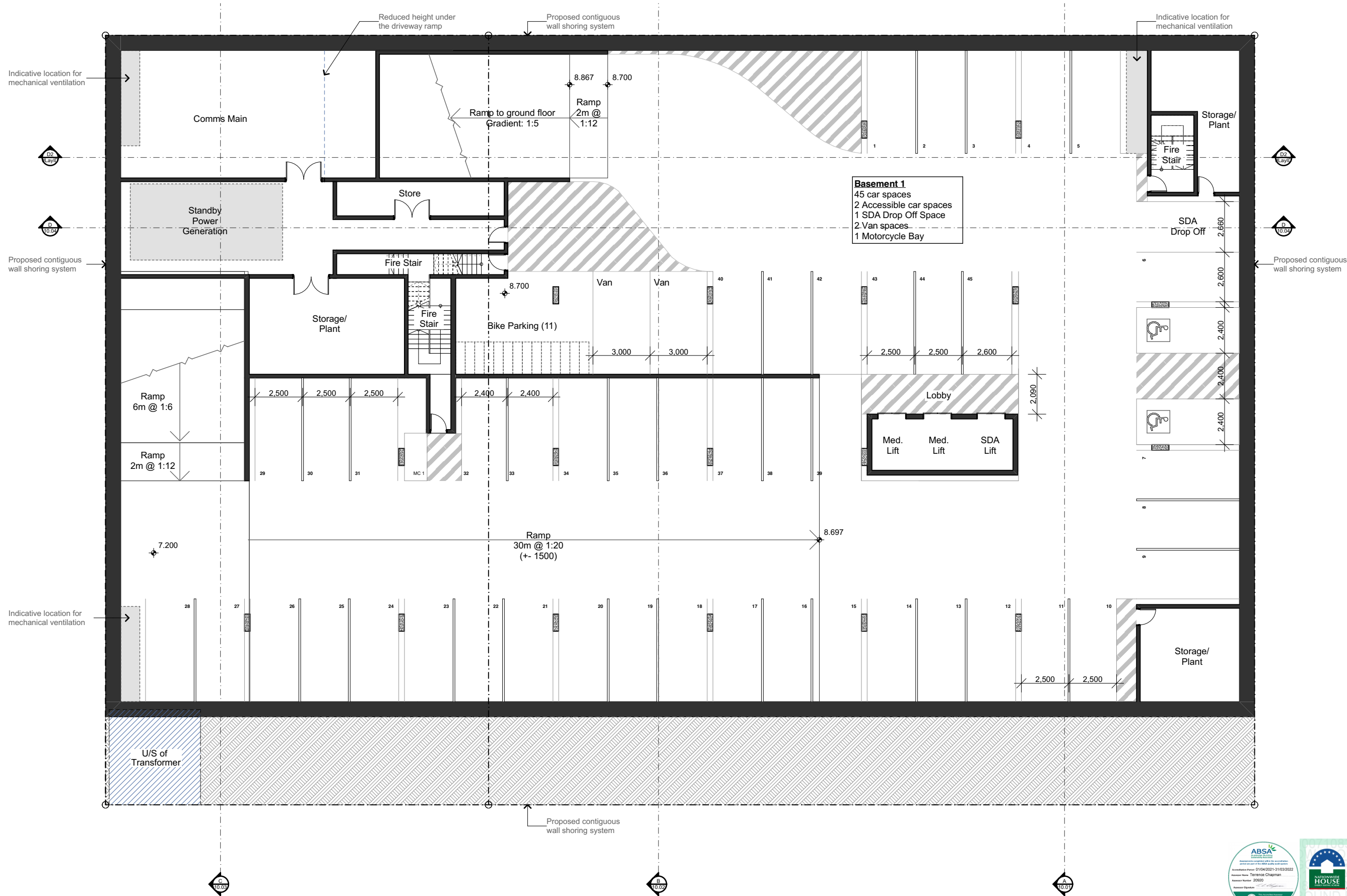
Stage
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1174-03
Scale
1:200 at A3



Floor Plan - Basement 2
A-DA-03.03

Revision
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NATIONAL HOUSE

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60-64 Showground Road, GOSFORD, NSW, 2251

0007108300 09 Mar 2022

DA
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| Revision | | |
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| C | Updated Drawing Set | 1/12/2021 |
| D | Updated Drawing Set | 14/01/2022 |
| E | Updated Drawing Set | 18/01/2022 |
| F | Updated Drawing Set | 20/01/2022 |
| G | DA Drawings | 4/03/2022 |

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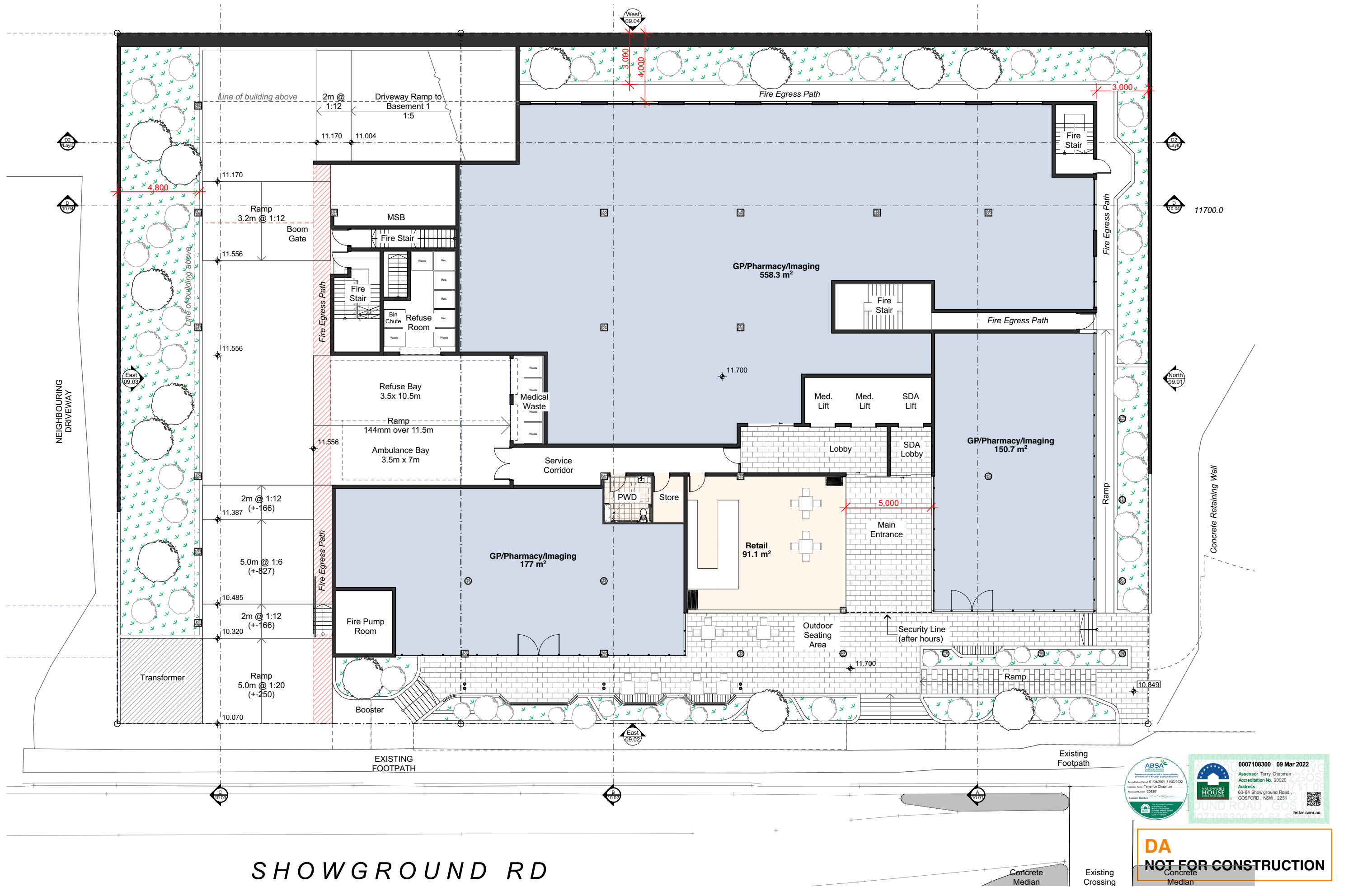
Project No.
1174-03

Scale
1:200 at A3



Floor Plan - Basement 1
A-DA-03.04

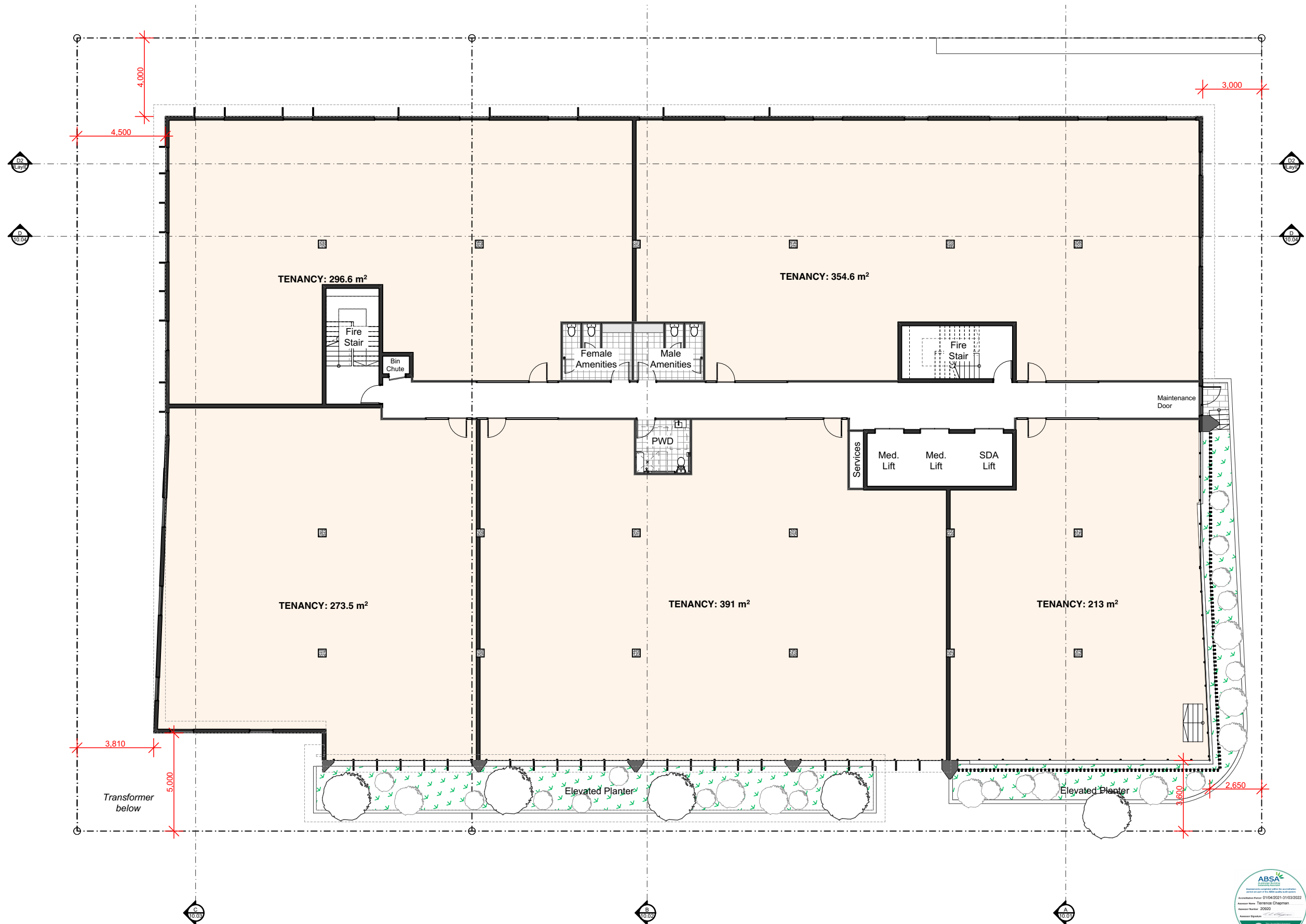
Revision
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SHOWGROUND RD



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Concrete
Median



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Revision

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| B | Updated Drawing Set |
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| | | | | |
|------------|-----------|------------|------------|-----------|
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Project

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Stage

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Status

DA (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

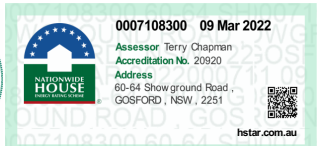
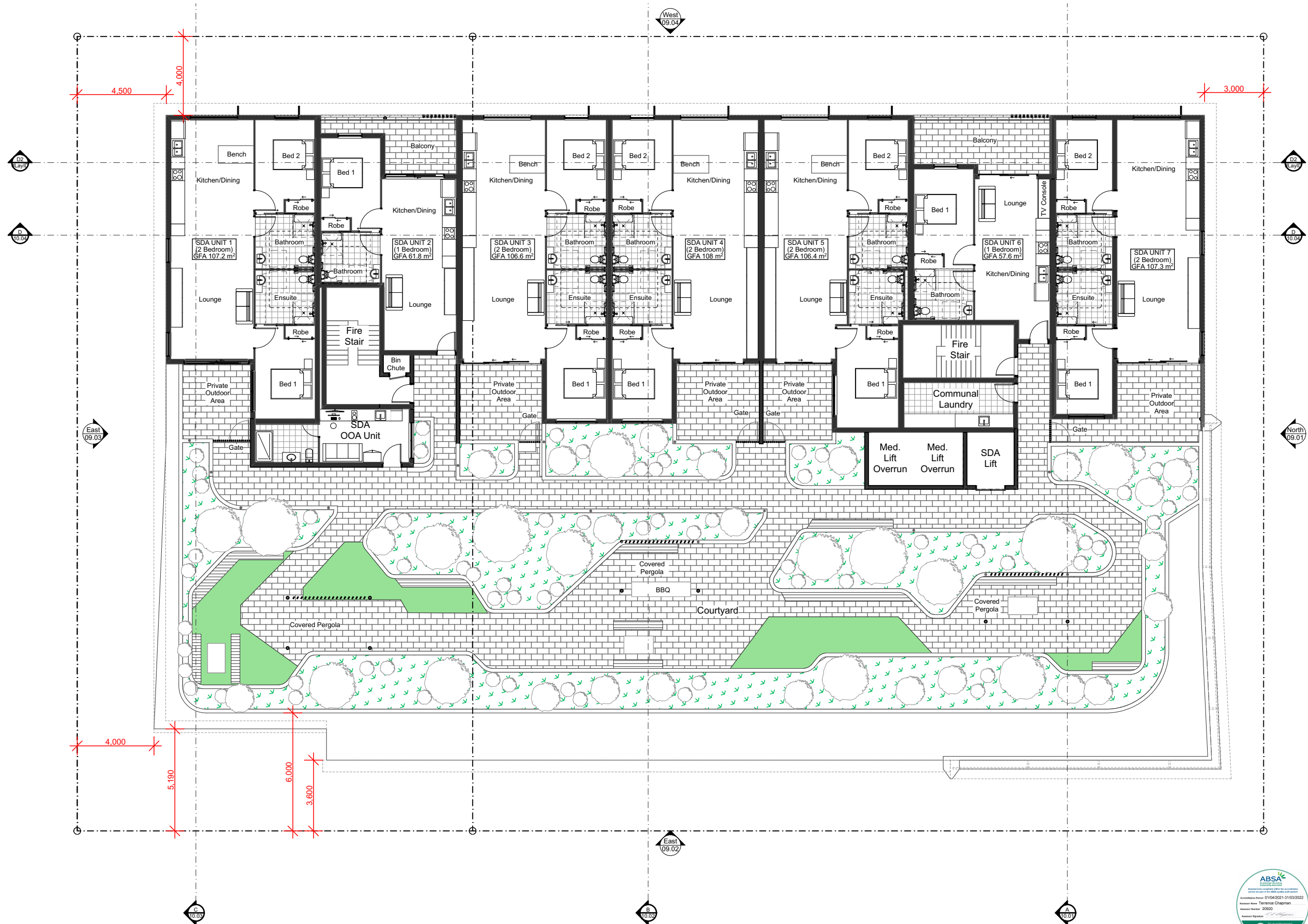


Floor Plan - Fourth Floor

A-DA-03.09

Revision

F



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Revision

| | |
|---|---------------------|
| C | Updated Fifth Level |
| D | Updated Drawing Set |
| E | Updated Drawing Set |
| F | Updated Drawing Set |
| G | DA Drawings |

28/11/2021
1/12/2021
14/01/2022
18/01/2022
4/03/2022

Project

Integrated Medical Office Building and Specialist Disability Accommodation
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Stage
Concept

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1174-03

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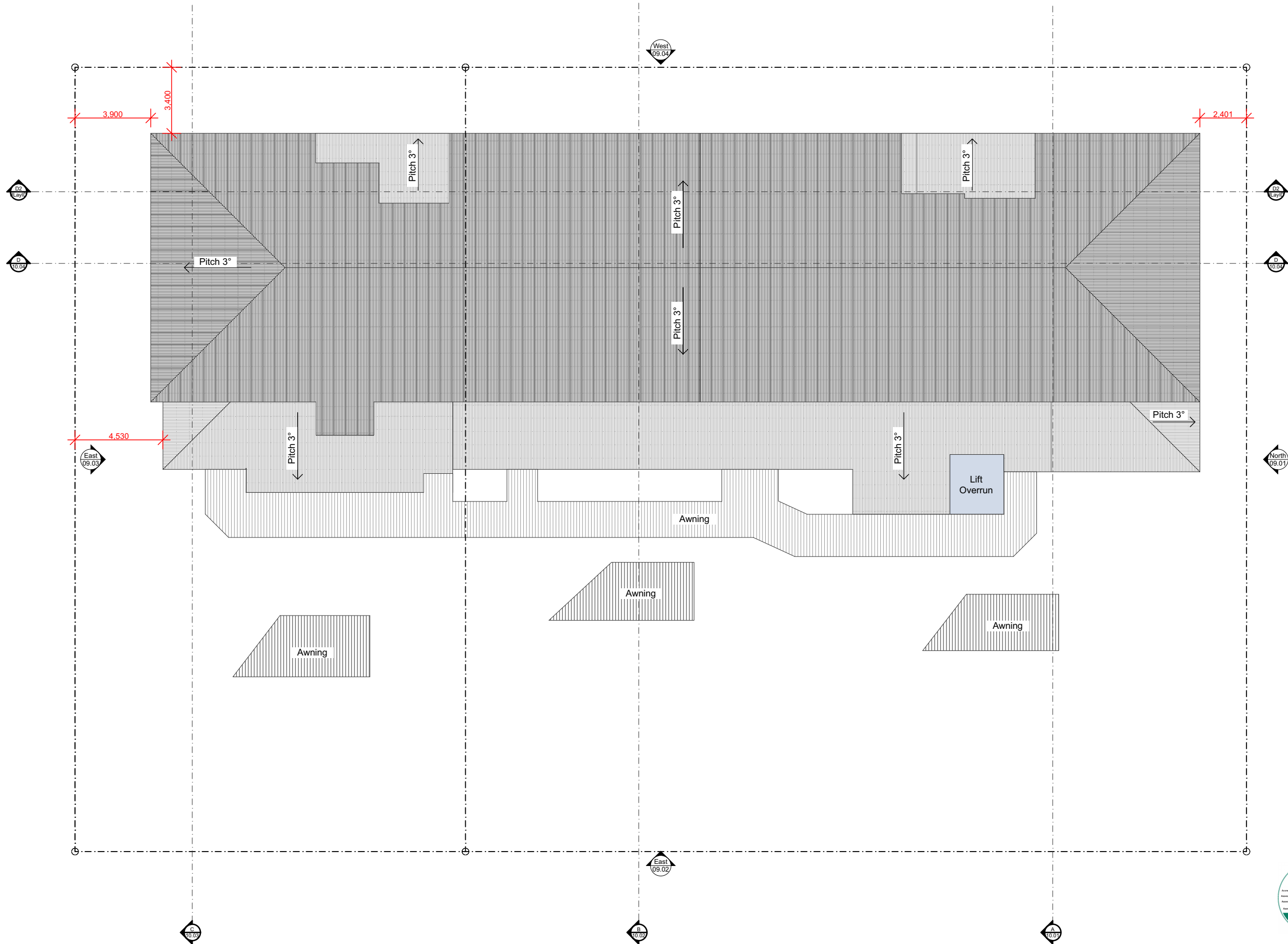


Floor Plan - Fifth Floor

A-DA-03.10

Revision

G



DA
NOT FOR CONSTRUCTION

Revision

| | |
|---|---------------------|
| A | Updated Drawing Set |
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19/08/2021
1/12/2021
27/01/2022
4/03/2022

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1174-03

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Roof Plan

A-DA-04.01

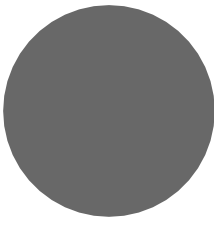
Revision

D

| | | | | | | | | |
|---|---|---|---|--|---|----------|----------------|--|
| CHP 60-64 Showground Road Gosford | | NSW | | 2250 | Basix Requirements Summary - Multi Dwelling Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914 | | CES CHAPMAN | |
| Water Target | 40 | Water Score | 40 | | | | | |
| Energy Target | 20 | Energy Score | 25 | | | | | |
| Max. Heating Load is (MJ/m²) | 54 | Actual Heating Load | 36 | | | | | |
| Max. Cooling Load is (MJ/m²) | 32 | Actual Cooling Load | 15.8 | | | | | |
| Basix Commitments | | | | | | | | |
| Landscaping | Total area of garden & lawn (m²) | | 150 | Area of indigenous/low water use plants (m²) | | 100 | | |
| Fixtures | Shower heads | | 3 star > 7.5 but <= 9 l/min | Toilets | 4 star | All taps | 4 star | |
| Alternative Water | n/a | | | | | | | |
| Pool and Spa | n/a | | | | | | | |
| Energy | Hot water system | Gas instantaneous | | Rating | 4 star | | | |
| | Bathroom ventilation | Individual fan, ducted to facade or roof | | with | Manual switch on/off | | | |
| | Kitchen ventilation | Individual fan, ducted to facade or roof | | with | Manual on / timer off | | | |
| | Laundry ventilation | Individual fan, ducted to facade or roof | | with | Manual switch on/off | | | |
| | Cooling - living areas | 1-phase airconditioning | | Rating | 2 star average | | | |
| | Cooling - bedrooms | 1-phase airconditioning | | Rating | 2 star average | | | |
| | Heating - living areas | 1-phase airconditioning | | Rating | 2 star average | | | |
| | Heating - bedrooms | 1-phase airconditioning | | Rating | 2 star average | | | |
| | Alternate Energy | Photovoltaic system able to generate at least | | n/a | peak kilowatts of electricity | | | |
| Gas cooktop & electric oven | | | Outdoor clothesline required | | No indoor clothesline required | | | |
| Thermal Performance Assessment Based on the Following Requirements | | | | | | | | |
| Floor Types | Suspended concrete slab | | with | No insulation required | | | | |
| Floor Coverings | Tiles | Wet areas / Living | | Timber | n/a | | | |
| | Carpet | Bedrooms | | Concrete | n/a | | | |
| External Walls | Timber framed Fibro clad | | with | Sarking and R2.0 bulk insulation | | Colour | Medium | |
| Internal Walls | Plasterboard | | with | No insulation required | | | | |
| Party Walls | Boral light weight party wall system | | with | or equivalent | | | | |
| Ceilings (roof over) | Concrete above plasterboard | | with | R2.5 underslab insulation | | | | |
| Roof | Concrete | | with | Waterproof membrane only | | | | |
| Windows and Doors | AF single glazed clear | | Group A | ALM-001-01 U-Value 6.70 or less SHGC 0.57 +/- 5% | | | | |
| | to all windows and glazed doors unless noted otherwise | | Group B | ALM-002-01 U-Value 6.70 or less SHGC 0.70 +/- 5% | | | | |
| | Group A windows are Awning, Bifold, Casement or Tilt'n'turn | | Group A doors are Bifold, Entry, French or Hinged | | | | | |
| | Group B windows are Double hung, Fixed, Louvre or Sliding | | Group B doors are Sliding or Slacker | | | | | |
| | AF = Aluminium Framed | | TB = Thermally Broken Aluminium Framed | | TF = Timber Framed | | | |
| If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence | | | | | | | | |



PF-01
Paint Finish
Dulux Natural White



PF-02
Paint Finish
Dulux Teahouse



BRK-01
Austral Bricks
Nubrik Pressed Bricks range - Spencer Tan



BRK-02
Austral Bricks
La Paloma range - Castellana



SCR-01
50 x 50 Aluminium Battens
(powdercoated PF-01) @100ctr



CLD-01
James Hardie
Axon Cladding (400 smooth)



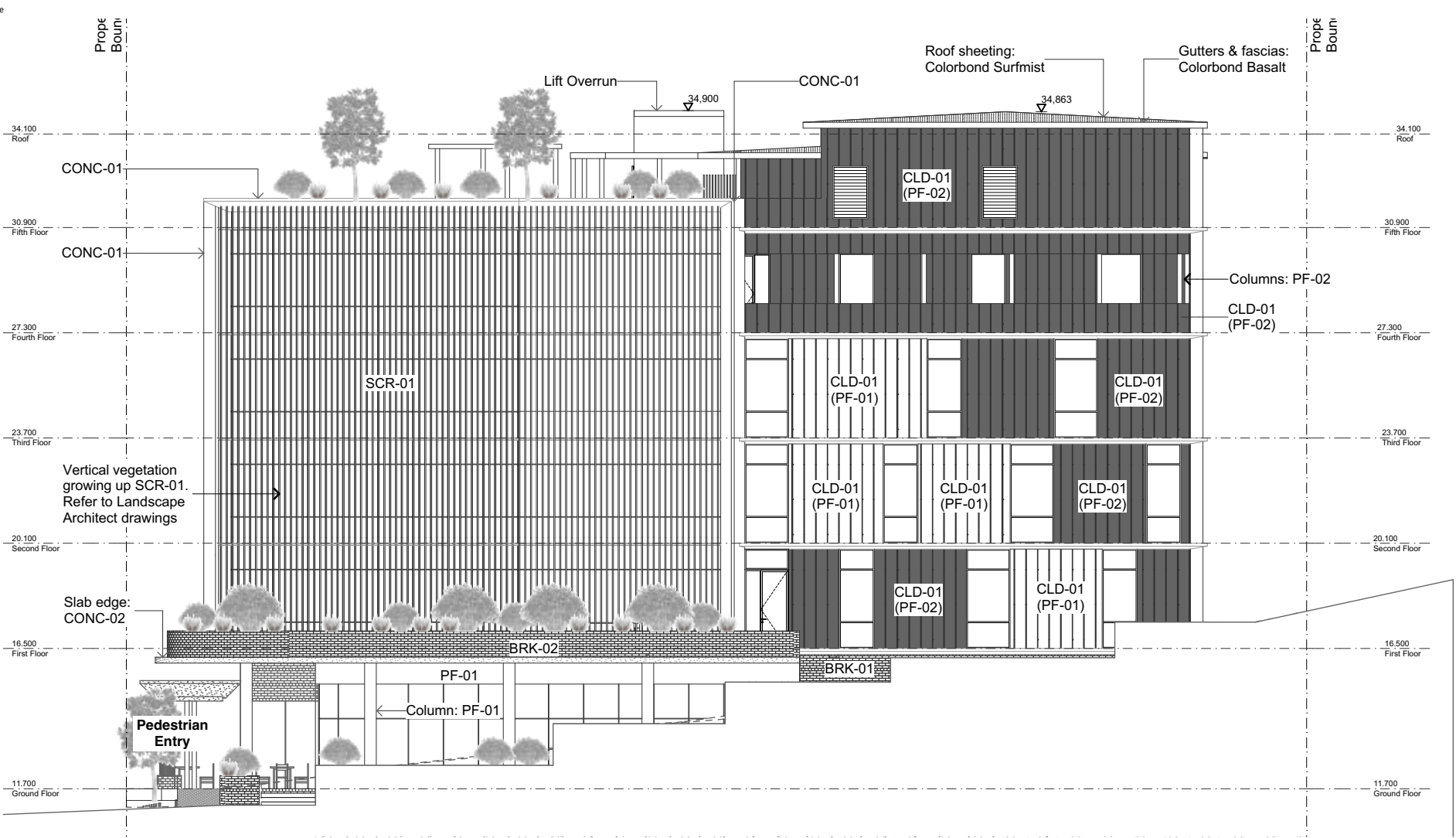
CLD-02
Timber-look aluminium cladding
Australian Beech



CONC-01
Exposed dark daoncrete finish
North, East & West elevations



CONC-02
Slab extension & expressed columns
Eastern elevation only



DA
NOT FOR CONSTRUCTION

Revision

| | |
|---|----------------------|
| A | Elevations & Renders |
| B | Updated Drawing Set |
| C | Updated Drawing Set |
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| |
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| 16/07/2021 |
| 19/08/2021 |
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| 27/01/2022 |
| 4/03/2022 |

Project

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CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

DA (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200, 1:1.429 at A3

Elevations - North

A-DA-09.01

Revision

E



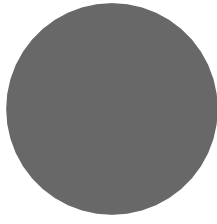
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PF-01
Paint Finish
Dulux Natural White



PF-02
Paint Finish
Dulux Teahouse



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Austral Bricks
Nubrik Pressed Bricks range - Spencer Tan



BRK-02
Austral Bricks
La Paloma range - Castellana



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CLD-01
James Hardie
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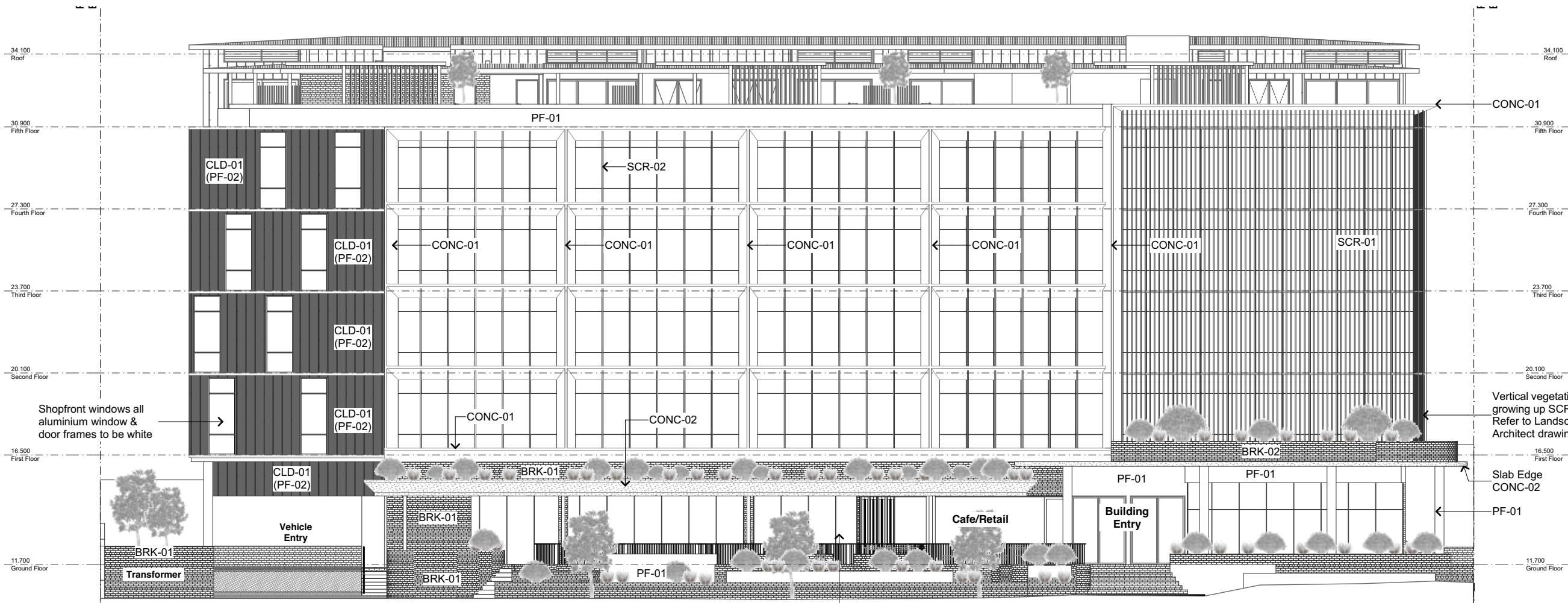
CLD-02
Timber-look aluminium cladding
Australian Beech



CONC-01
Exposed dark daoncrete finish
North, East & West elevations



CONC-02
Slab extension & expressed columns
Eastern elevation only



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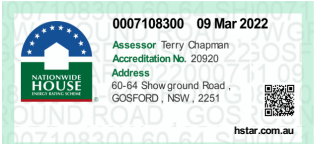
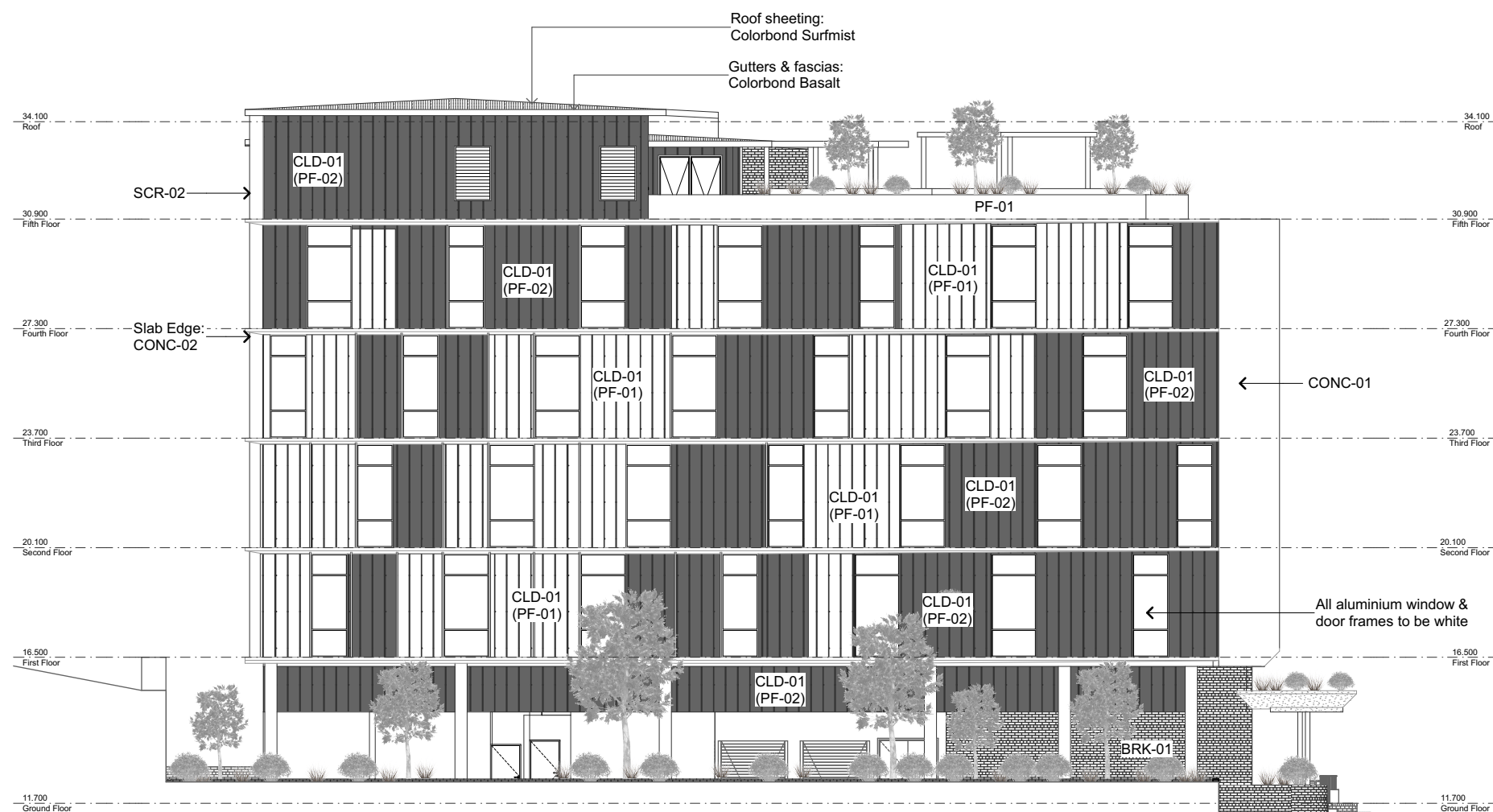
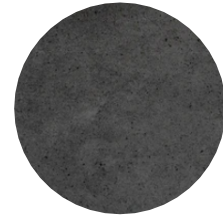
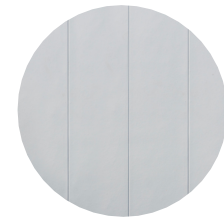
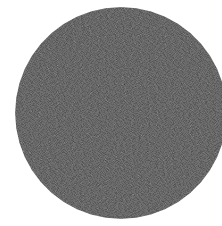
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Elevations - East

A-DA-09.02

Revision

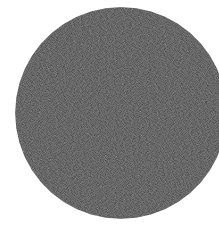
E



DA
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PF-01
Paint Finish
Dulux Natural White



PF-02
Paint Finish
Dulux Teahouse



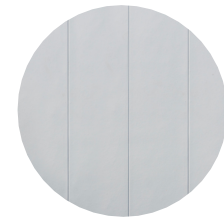
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Nubrik Pressed Bricks range - Spencer Tan



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Austral Bricks
La Paloma range - Castellana



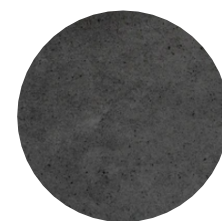
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CLD-01
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Axon Cladding (400 smooth)

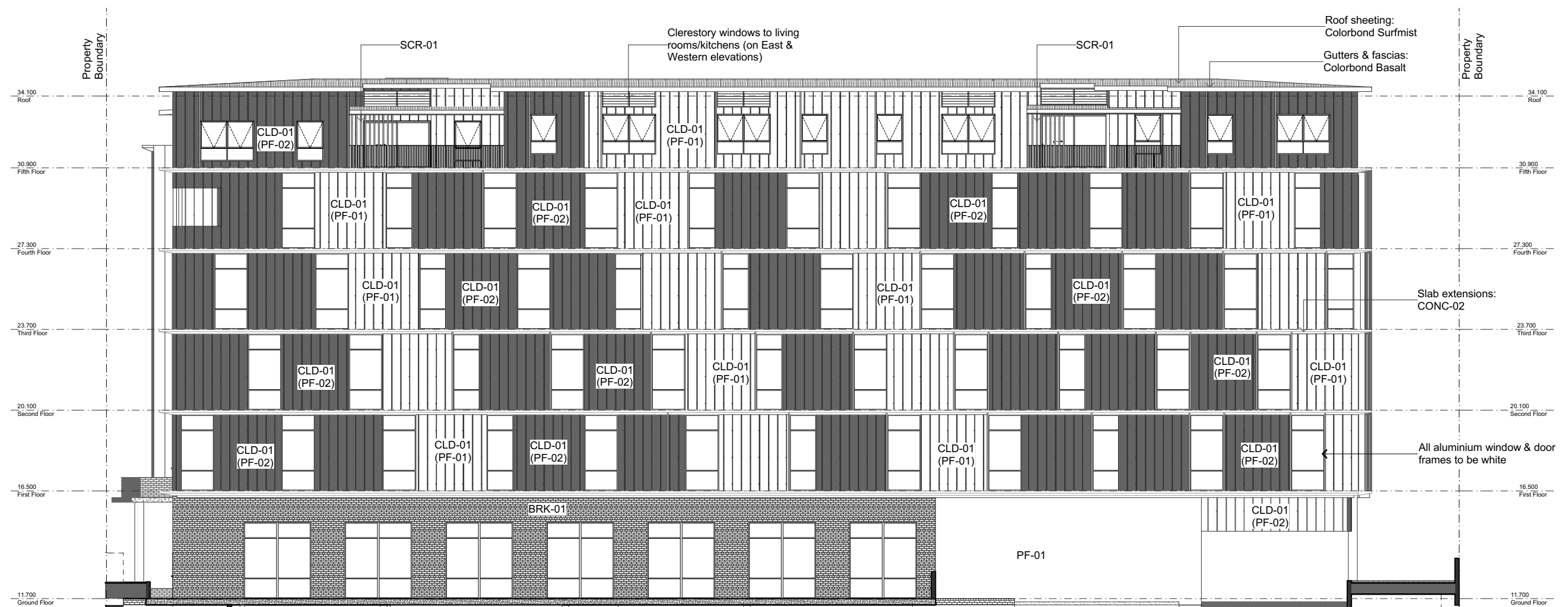


CLD-02
Timber-look aluminium cladding
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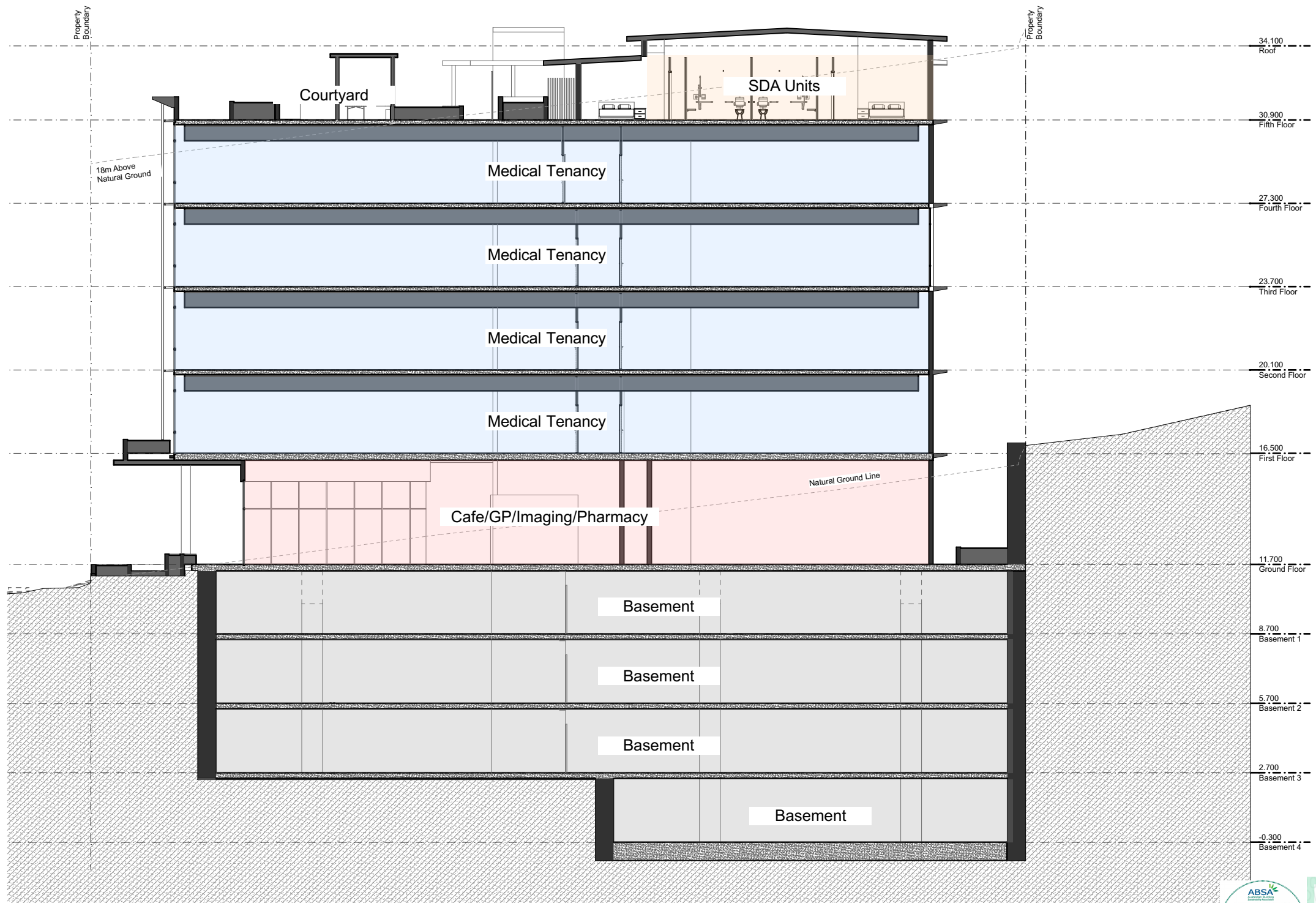


CONC-01
Exposed dark daoncrete finish
North, East & West elevations

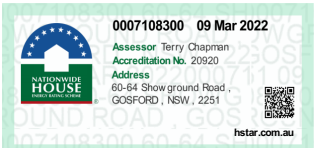
CONC-02
Slab extension & expressed columns
Eastern elevation only



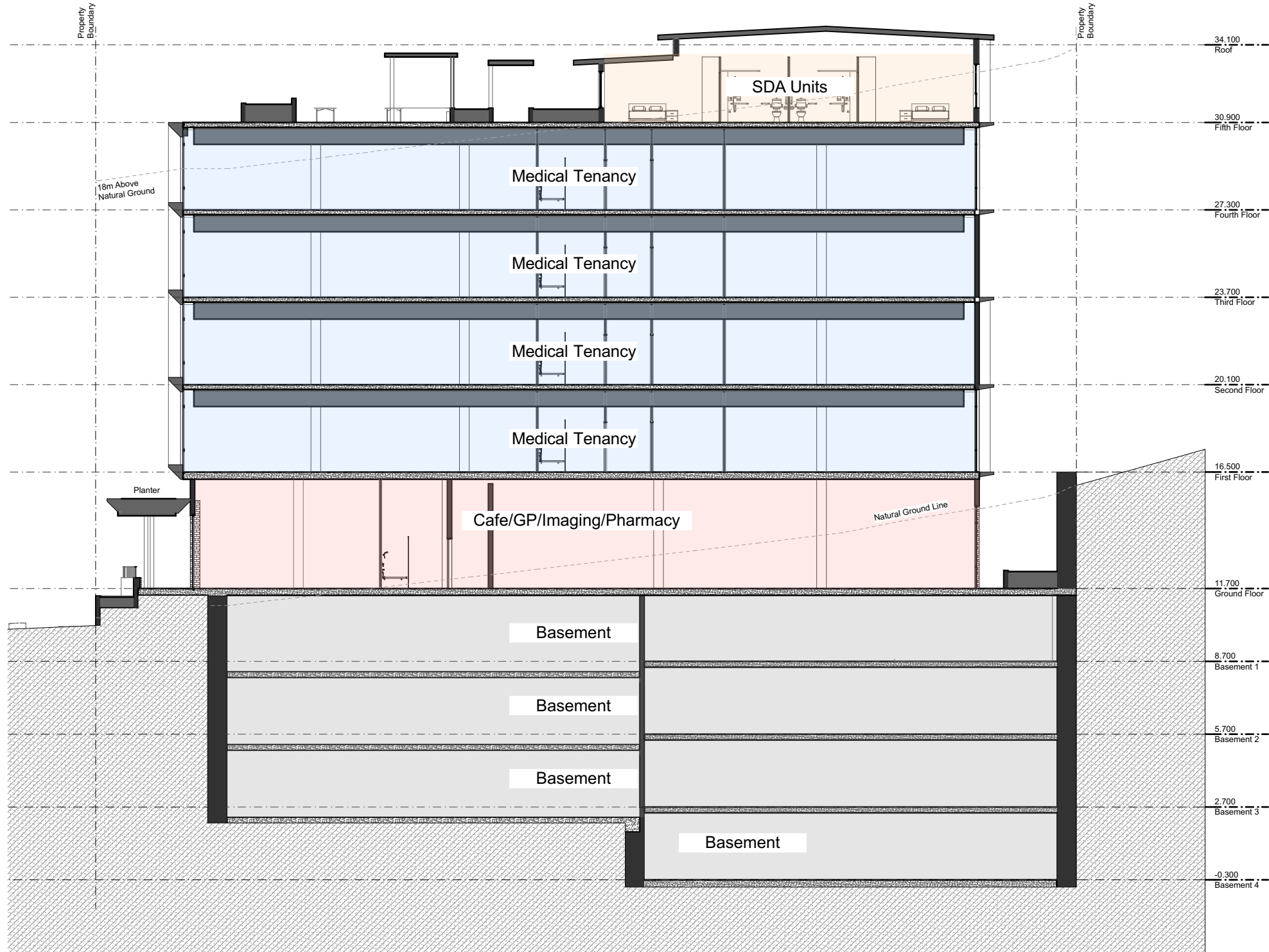
DA
NOT FOR CONSTRUCTION



1 A Section A
- Scale 1:200



DA
NOT FOR CONSTRUCTION



1 B Section B
- Scale 1:200

DA
NOT FOR CONSTRUCTION

Revision

| | |
|---|-------------------------|
| A | Preliminary Drawing Set |
| B | Updated Drawing Set |
| C | Updated Drawing Set |
| D | Updated Drawing Set |
| E | DA Drawings |

| |
|------------|
| 9/07/2021 |
| 19/08/2021 |
| 1/12/2021 |
| 27/01/2022 |
| 4/03/2022 |

Project

Integrated Medical Office Building and Specialist Disability Accommodation
60, 62 & 64 Showground Road Gosford NSW
Client
CHP

Architect

GA
Drawn
DS

Stage

Concept

Status

DA (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

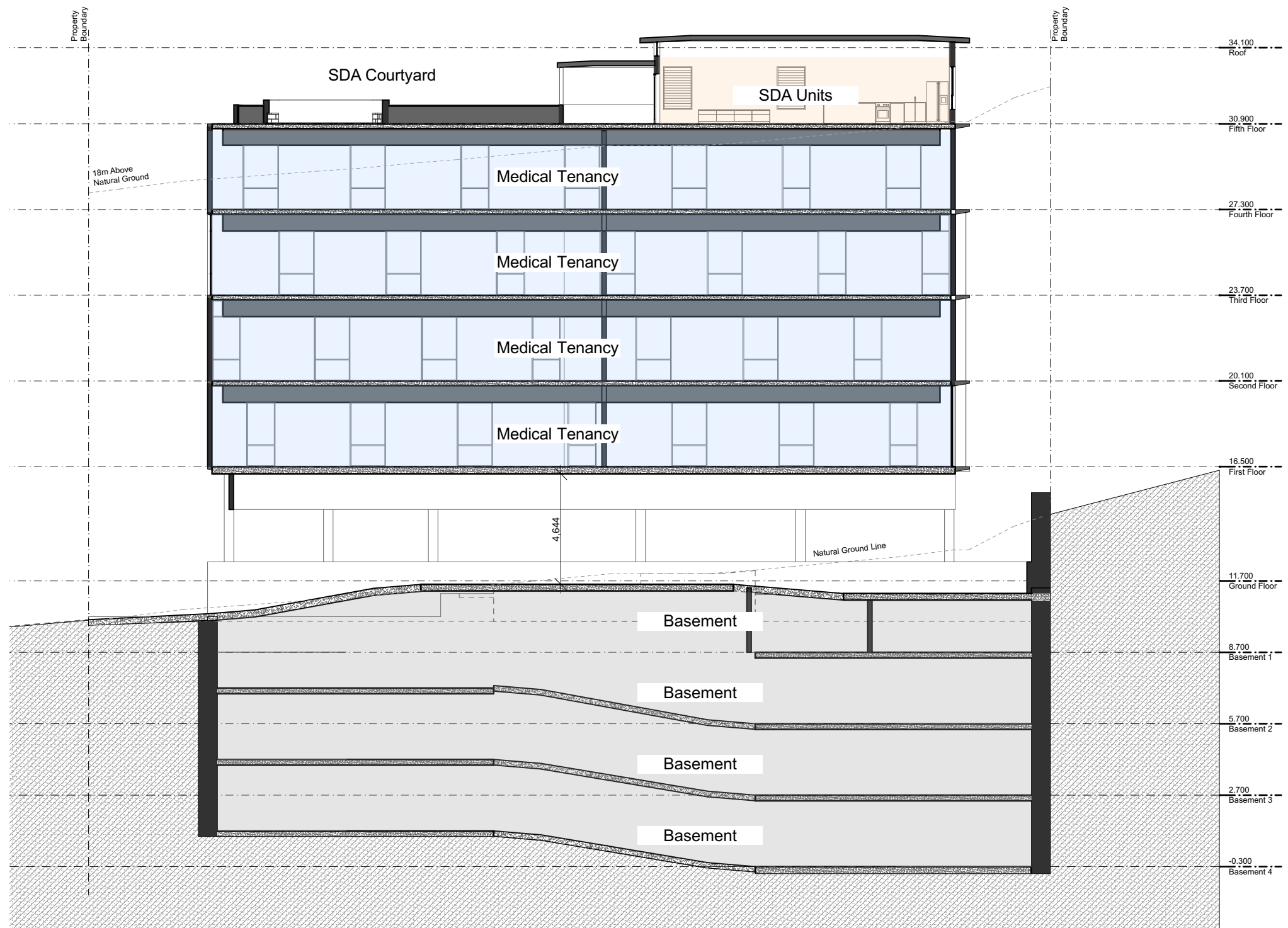
1:200 at A3

Section B

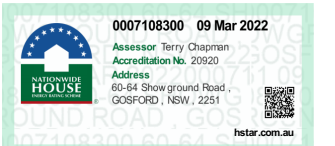
A-DA-10.02

Revision

E



1 C Section C
- Scale 1:200



DA
NOT FOR CONSTRUCTION





0007108300 09 Mar 2022

Assessor Terry Chapman

Accreditation No. 20920

Address

60-64 Showground Road

GOSFORD, NSW, 2251

hstar.com.au



Revision

| | |
|---|----------------------|
| A | Elevations & Renders |
| B | Updated Drawing Set |
| C | Updated Drawing Set |
| D | Updated Drawing Set |
| E | DA Drawings |

| |
|------------|
| 16/07/2021 |
| 19/08/2021 |
| 1/12/2021 |
| 27/01/2022 |
| 4/03/2022 |

Project

Integrated Medical Office Building and Specialist Disability Accommodation
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

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Drawn

DS

Stage

Concept

Status

DA (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

at A3

Showground Rd Perspective

A-DA-22.02

Revision

E

